



Art Form Architecture, LLC

## SIR ZACH 845.124.v2 GR

This version has a slightly lower roof pitch (6 1/4:12) to conform to a local zoning requirement about attic space and FAR. This plan is Tier 2 because original was for Portland Maine that doesn't allow us to give you the choices we normally give. Tier 2 gives us the time to add that back in.

In addition to our Terms and Conditions (the "Terms"), please be aware of the following:

Art Form Architecture, LLC ("Artform") requires that our Drawings be built substantially as designed. Artform will not be obligated by or liable for use of this design with markups as part of any builder agreement. While we attempt to accommodate where possible and reasonable, and where the changes do not denigrate our design, any and all changes to Drawings must be approved in writing by Artform. It is recommended that you have your Drawing updated by Artform prior to attaching any Drawing to any builder agreement. Artform shall not be responsible for the misuse of or unauthorized alterations to any of its Drawings.



Width 40.00 <sup>FT</sup>

Depth 40.25 <sup>FT</sup>

Height 30.25 <sup>FT</sup>

LIVING AREA		BEDROOMS		BATHROOMS	
	2389 <sup>FT</sup>		4		2.5
Main	2389 <sup>FT</sup>	Main	4	Main	2.5
Future	0 <sup>FT</sup>	Future	0	Future	0
2 <sup>nd</sup> Unit	0 <sup>FT</sup>	2 <sup>nd</sup> Unit	0	2 <sup>nd</sup> Unit	0

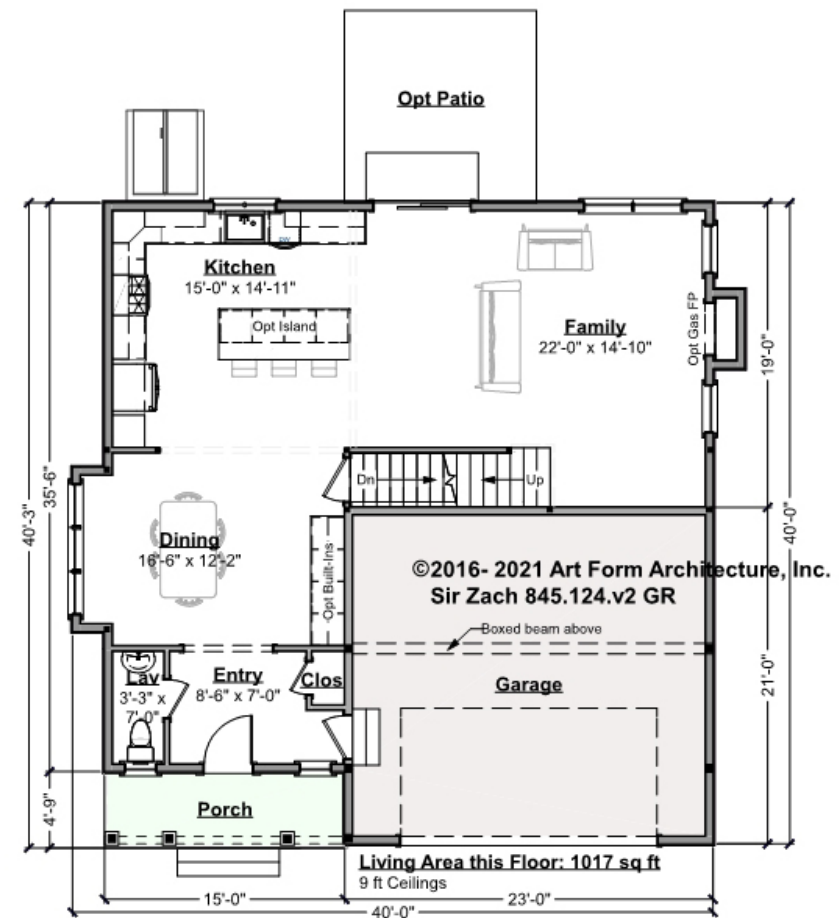


## SIR ZACH - 1<sup>ST</sup> FLOOR

### 845.124.v2 GR

Changing to side entry garage requires a Major Change to remove a structural post in that exterior wall. Although a singular garage door is used, a width of at least 16'-0" for the door is capable of fitting two vehicles, as well as having at least a 20'-0" wide garage.

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



CLG HT SHOWN 9'-0"

CLG HT POSSIBLE 8'-0"

\* Major Change Fee, see website plan page for cost

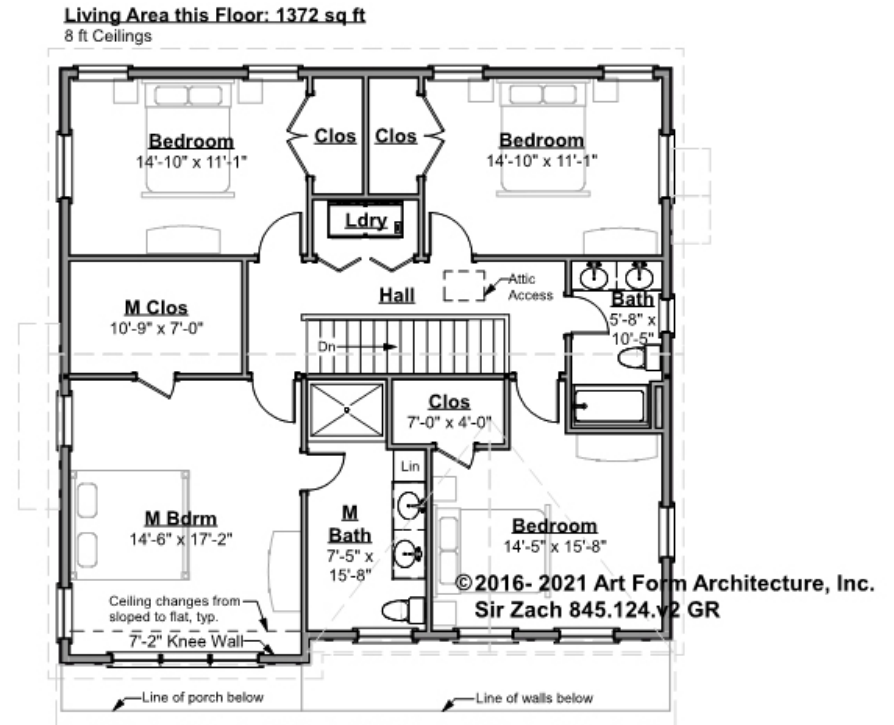
F1 LIVING AREA		1017 <sup>FT</sup>	F1 BEDROOMS		0	F1 BATHROOMS		0.5
Main		1017.00 <sup>FT</sup>	Main		0.00	Main		0.50
Future		0.00 <sup>FT</sup>	Future		0.00	Future		0.00
2 <sup>nd</sup> Unit		0.00 <sup>FT</sup>	2 <sup>nd</sup> Unit		0.00	2 <sup>nd</sup> Unit		0.00



## SIR ZACH - 2<sup>ND</sup> FLOOR

845.124.v2 GR

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CLG HT SHOWN 8'-0"

CLG HT POSSIBLE 9'-0"

\* Major Change Fee, see website plan page for cost

F1 LIVING AREA	1372 <sup>FT</sup>	F1 BEDROOMS	4	F1 BATHROOMS	2
Main	1372.00 <sup>FT</sup>	Main	4.00	Main	2.00
Future	0.00 <sup>FT</sup>	Future	0.00	Future	0.00
2 <sup>nd</sup> Unit	0.00 <sup>FT</sup>	2 <sup>nd</sup> Unit	0.00	2 <sup>nd</sup> Unit	0.00

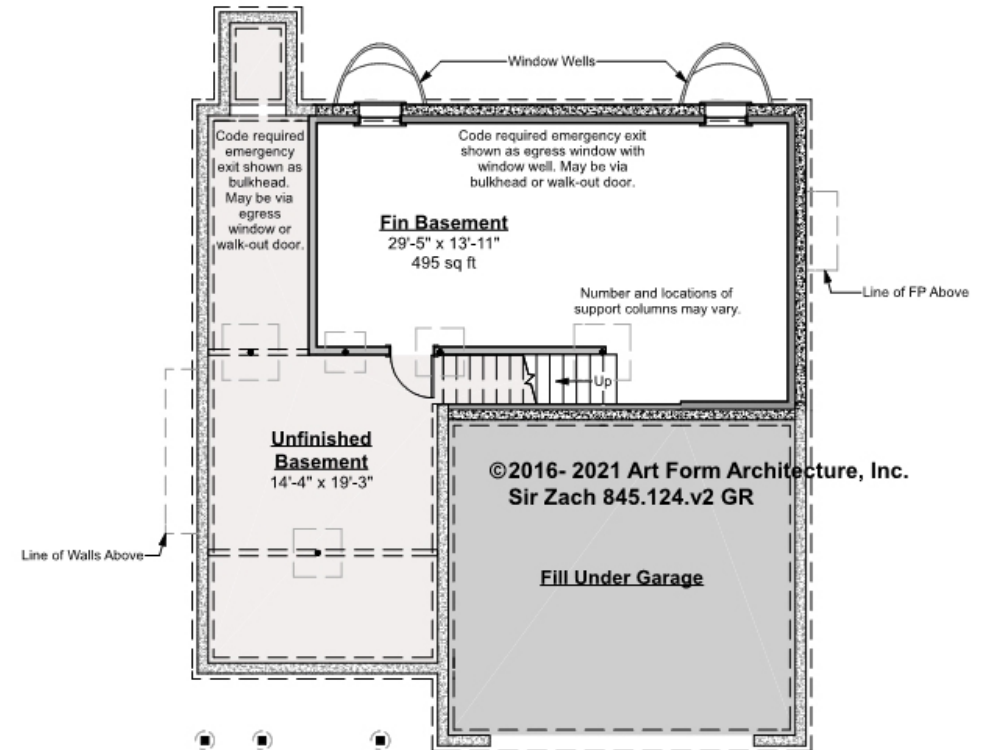


## SIR ZACH - BASEMENT

### 845.124.v2 GR

Note: finished basement area is NOT included in main or future Living Area, but IS shown on CDs. We don't list as Living Area in basements for our database so search doesn't mislead people.

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CLG HT SHOWN 7'-8"

CLG HT POSSIBLE 9'-0"

\* Major Change Fee, see website plan page for cost

F1 LIVING AREA		0 <sup>FT</sup>	F1 BEDROOMS		0	F1 BATHROOMS		0
Main		0.00 <sup>FT</sup>	Main		0.00	Main		0.00
Future		0.00 <sup>FT</sup>	Future		0.00	Future		0.00
2 <sup>nd</sup> Unit		0.00 <sup>FT</sup>	2 <sup>nd</sup> Unit		0.00	2 <sup>nd</sup> Unit		0.00



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## SIR ZACH - FRONT ELEVATION

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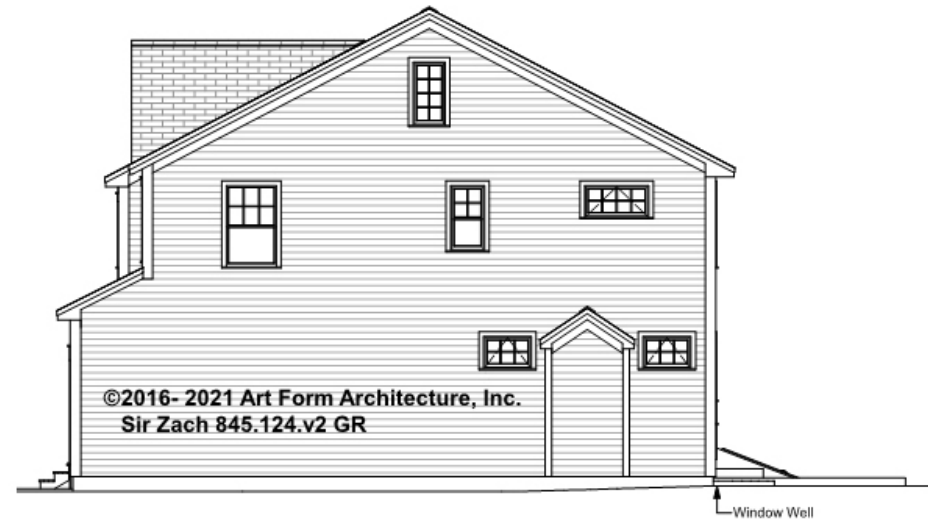


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## SIR ZACH - RIGHT ELEVATION

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## SIR ZACH - REAR ELEVATION

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## SIR ZACH - LEFT ELEVATION

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