

NOTES:

- DO NOT SCALE OFF DRAWING, REFER TO LISTED DIMS ONLY
- ALL DIMS ARE FACE TO FACE OF SHEETROCK OR TO CENTERLINE OF DOORS AND WINDOWS UNLESS OTHERWISE NOTED. ANY DIMENSIONAL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE EPOCH DESIGN DEPARTMENT FOR VERIFICATION.
- ROOM AREA CALCULATIONS ARE APPROXIMATE.

EPOCH HOMES MANUFACTURES ITS BUILDINGS TO CONFORM TO THE FOLLOWING NEW HAMPSHIRE BUILDING CODES:

- 2009 INTERNATIONAL RESIDENTIAL CODE W/ NH AMENDMENTS.
- 2009 NFPA 1 - FIRE PREVENTION CODE
- NH STATE ENERGY CODE
- 2011 NATIONAL ELECTRIC CODE, NFPA 70
- 2009 NFPA 101 - LIFE SAFETY CODE

ROOM SCHEDULE				
ROOM	SF	LIGHT	VENT	
BEDROOM 2	155 SF	21.2	11.1	
BEDROOM 3	155 SF	18.5	14.1	
BATH 2	85 SF	10.4	5.5	

*EGRESS IN NH = MIN. 5.7 SF OPENING 20" X 24"

WINDOW SCHEDULE							
MANUF.	ID	TYPE	RO WIDTH	RO HEIGHT	QTY	EGRESS	REMARKS
PELLA	A3325	AWNING	2'-9 3/4"	2'-1 3/4"	4	NO	--
PELLA	DH3357	DOUBLE HUNG	2'-9 3/4"	4'-9 3/4"	1	NO	--
PELLA	DH3753-T	DOUBLE HUNG	3'-1 3/4"	4'-5 3/4"	1	NO	TEMPERED
PELLA	DH3757	DOUBLE HUNG	3'-1 3/4"	4'-9 3/4"	2	YES	--

NO.	DESCRIPTION	BY	DATE
1	REV'D PER PRRF DATED 6/13/13D	ML	6/14/13
2	REV'D PER PRRF DATED 6/20/13D	ML	6/24/13
3	REV'D PER MARK-UP DATED 7/25/13D	ML	7/25/13

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PROJECT:
28X38 CAPE
BUILDER:
BAILEY PARK PROP, LLC.
247 HAYDEN RD.
HOLLIS, NH 03049

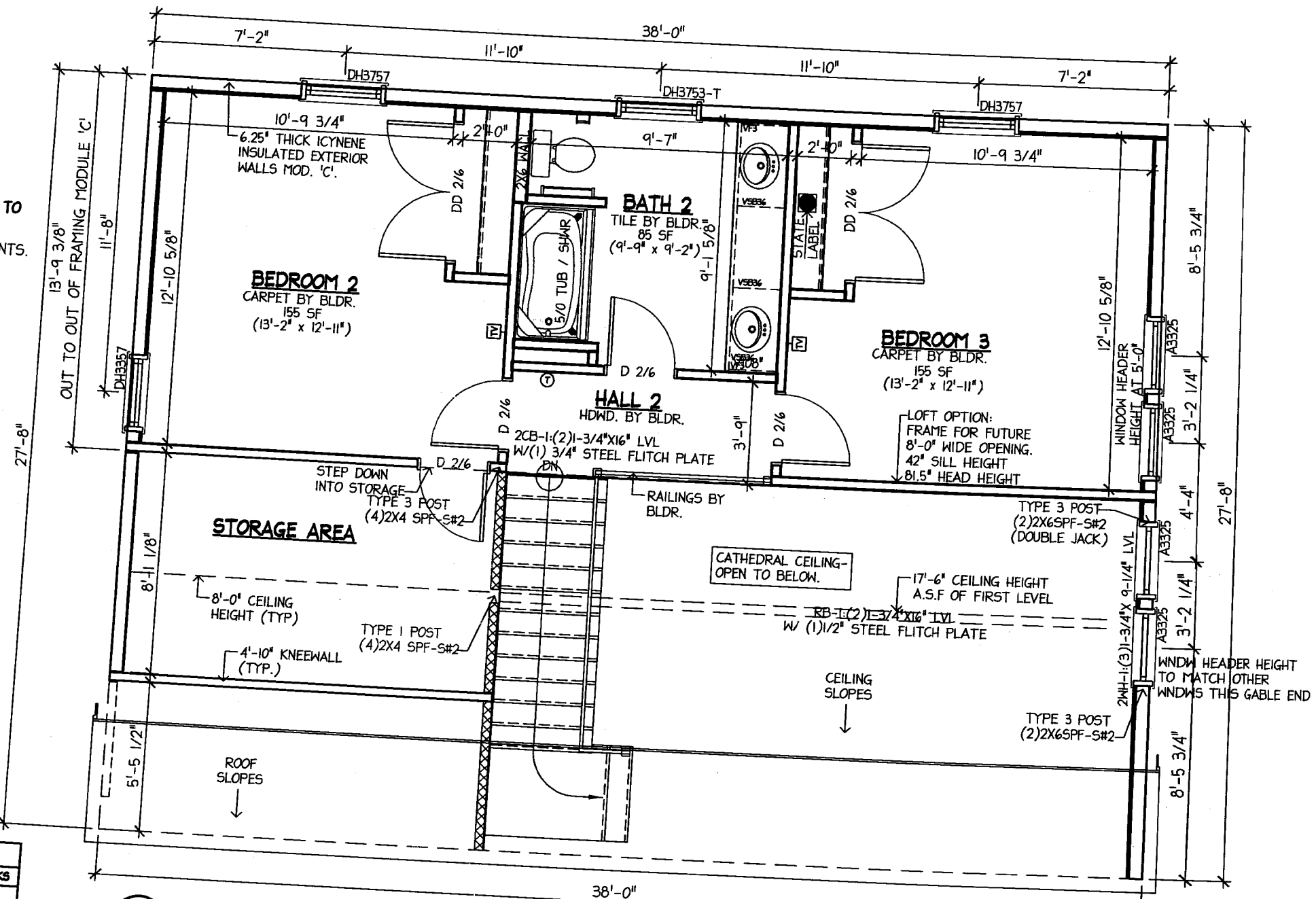
ENDBUYER:
HILLCROFT SPEC.
LOT 178-322-4, HILLCROFT RD.
LACONIA, NH 03246

NUMBER:
4332-13

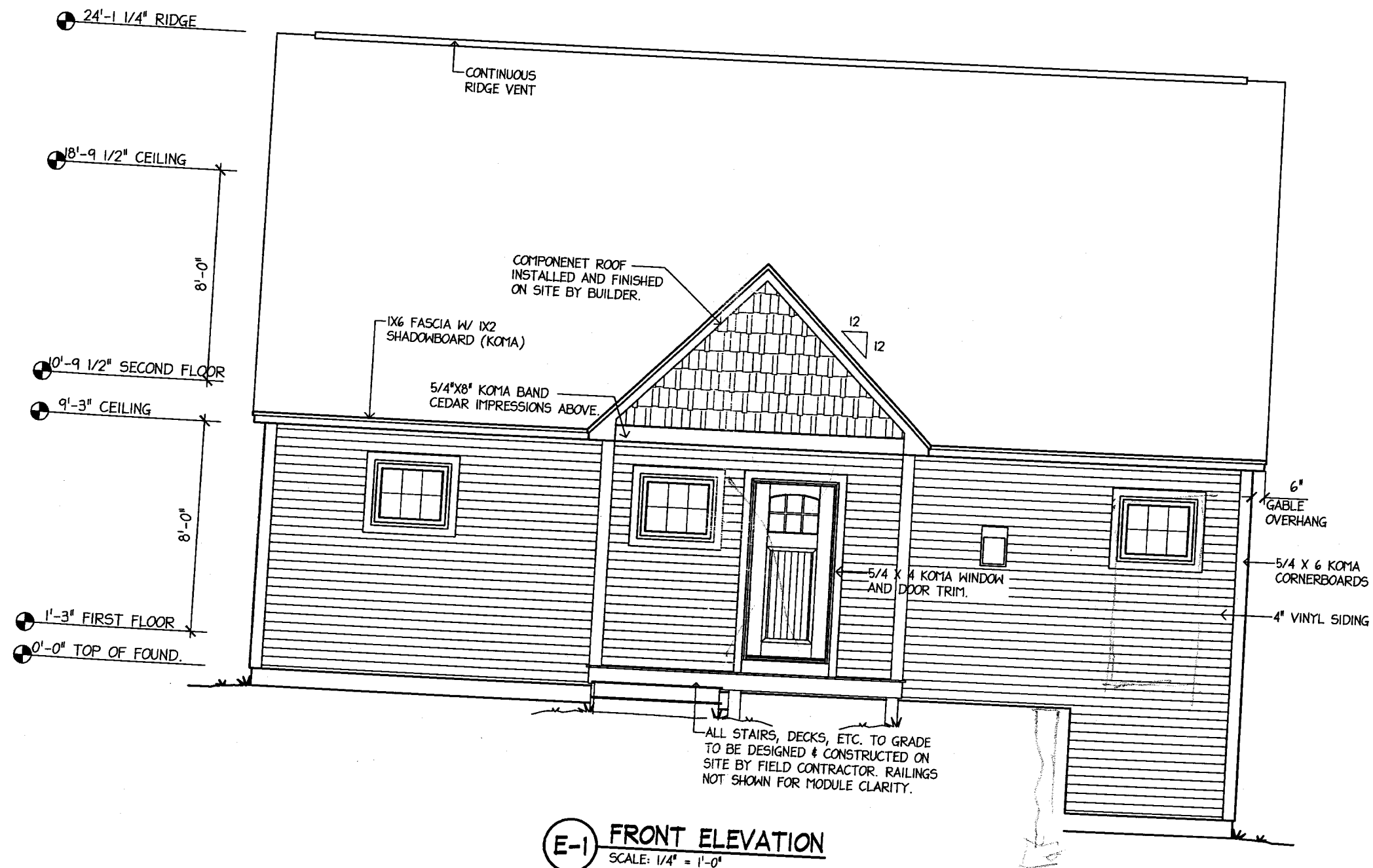
SHEET TITLE:
SECOND LEVEL FLOOR PLAN
DRAWN BY: ML
DATE: 6/11/13
SCALE: AS NOTED

SHEET NUMBER:

A-2



P-1 SECOND LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"
CEILING HEIGHT = 8'-0"



NO.	DESCRIPTION	BY	DATE
1	REV'D PER PRPF DATED 6/13/13D	ML	6/14/13
2	REV'D PER PRPF DATED 6/20/13D	ML	6/24/13
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LOT 178-322-4, HILLCROFT RD
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SHEET TITLE:
FRONT ELEVATION
DRAWN BY: ML
SCALE: AS NOTED
DATE: 6/11/13

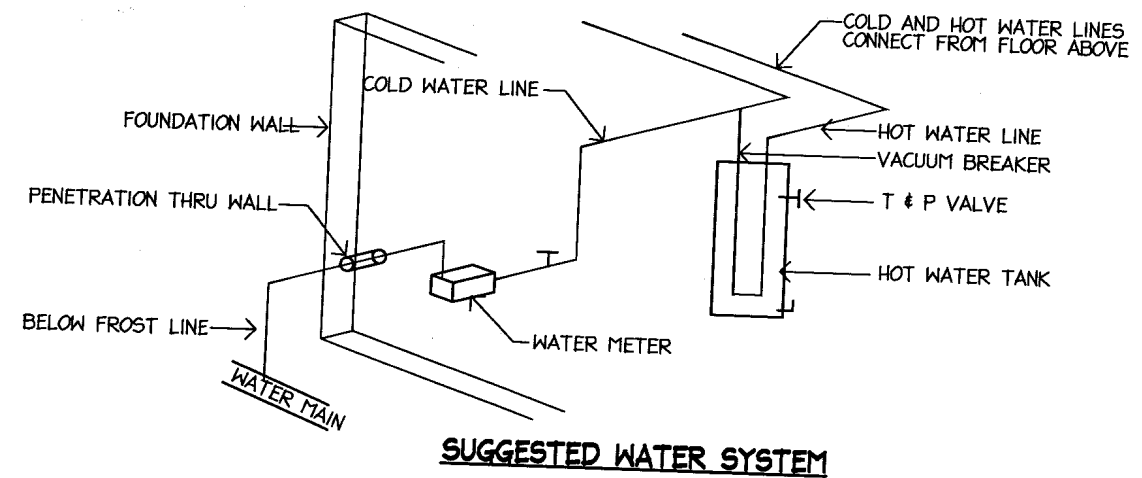
SHEET NUMBER:
A-3

STANDARD HEADER SCHEDULE		
1ST FLR. OF COLONIAL	EXTERIOR OPENING	13 # 14 WIDE
	3'-2"	(2) 2x6 W/ (1) 2x10
	6'-2"	(2) 2x8 W/ (1) 2x10
	8'-2"	(3) 2x8 W/ (1) 2x10
	MARR.WALL OPENING	13 # 14 WIDE
	2'-6" TO 5'-6"	(2) 2x6 W/ (2) 2x12'S
	6'-0" TO 8'-0"	(2) 2x8 W/ (2) 2x12'S

STANDARD HEADER SCHEDULE		
2ND FLR. OF COLONIAL	EXTERIOR OPENING	13 # 14 WIDE
	3'-2"	(3) 2x6 SPF #2
	6'-2"	(3) 2x6 SPF #2
	8'-2"	(1) 2x6 & (2) 2x8 SPF #2
	MARR.WALL OPENING	13 # 14 WIDE
	2'-6" TO 5'-6"	(1) 2x6 SPF #2 PER MOD.
	6'-0" TO 8'-0"	(1) 2x8 SPF #2 PER MOD.

FASTENER SCHEDULE				
SEE ENGINEERING PAGES FOR ADDITIONAL FASTENING REQUIREMENTS.				
AREA	MATERIAL	GLUE	NAIL/STAPLE	SPACING
FLOOR SYSTEM	2x8 JST. TO 2x10 PERIM.	N/A	12D	MIN. 4 PER BEAM
	2x10 JST. TO 2x12 PERIM.	N/A	12D	MIN. 5 PER BEAM
	3/4" TIG TO DECK	CONST. ADHESIVE	10d	4" ON EDGES/ 8" FIELD
	2x2 LEDGER	N/A	12D	1 NAIL @ 3' O.C. TO JOIST
EXTERIOR WALLS	2x6 SILL PLT. TO PERIM.	N/A	12D	1 NAIL @ 6' O.C. TO BEAM
	2x6 STUDS TO SOLE	N/A	16D	2 DIRECT NAIL
	1/2" SHEETROCK	CONST. ADHESIVE	#6 SCREWS OR BETTER	MIN. 24" O.C.
	2x6 STUD TO TOP PLATE	N/A	0.81"x3"	3 DIRECT NAIL
	DEL. TOP PLATE	N/A	0.81"x3"	1 @ 16" O.C.
	WALL TO FLOOR	N/A	0.81"x3"	1 @ 16" O.C.
	JUNCT. POST TO WALLS	N/A	12D	2 @ 16" O.C.
	1/2" CDX PLYWOOD (G1) EXT. APPLIED #1 & 2	CONST. ADHESIVE	8d	4" ON EDGES/ 6" FIELD
	1/2" CDX PLYWOOD (G2) INT/EXT. APPLIED #1 & 2	CONST. ADHESIVE	8d	4" ON EDGES/ 6" FIELD
	SIDING	N/A	PER MANUFACTURER	PER MANUFACTURER
INT. WALLS	2x STUDS TO PLATES	N/A	16D	2 DIRECT NAIL
	WALL TO DECK	N/A	16D	2 @ 16" O.C.
	1/2" SHEETROCK	CONST. ADHESIVE	#6 SCREWS OR BETTER	4" ON EDGES/ 8" FIELD
	2x3 STUDS TO PLATES	N/A	16D	2 DIRECT NAIL
MATING WALLS	3/8" CDX PLYWOOD	CONST. ADHESIVE	16GA GALV. STAPLE	4" ON EDGES/ 8" FIELD
	WALL TO DECK	N/A	16D	2 @ 16" O.C.
	1/2" SHEETROCK	CONST. ADHESIVE	#6 SCREWS OR BETTER	MIN. 24" O.C.
	2x6 OR 2x8 RAFTERS	N/A	16D	3 @ HEEL JOINT
ROOF SYSTEM	5/8" PLYWOOD	N/A	8d	4" @ EDGES/ 8" @ FIELD
	ASPHALT SHINGLES	N/A	1 1/4" MIN. GALV. WIRE STAPLE	6"/SHINGLE
	RAFTER/TRUSS TO PLATE	N/A	0.81"x3"	(3) TOENAILS PER MEMBER

1. CAPACITY HAS BEEN REDUCED FOR FRAMING SPECIFIC GRAVITY ACCORDING TO SDPHS T4.3A NOTE 3 AND IBC T2306.3 NOTE a.
2. SHEAR CAPACITY FOR CURRENT DESIGN HAS BEEN INCREASED TO THE VALUE FOR 5/8" SHEATHING WITH SAME NAILING BECAUSE STUD SPACING IS 16" MAX. OR PANEL ORIENTATION IS HORIZONTAL. SEE SDPHS T4.3A NOTE 2. AND IBC T2306.3 NOTE d.



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SHEET TITLE:
DETAILS, OPTIONS
AND HEADER SCHED.


DRAWN BY: ML DATE: 8/1/13
SCALE: AS NOTED

SHEET NUMBER:
A-10

GENERAL NOTES AND RESPONSIBILITIES:

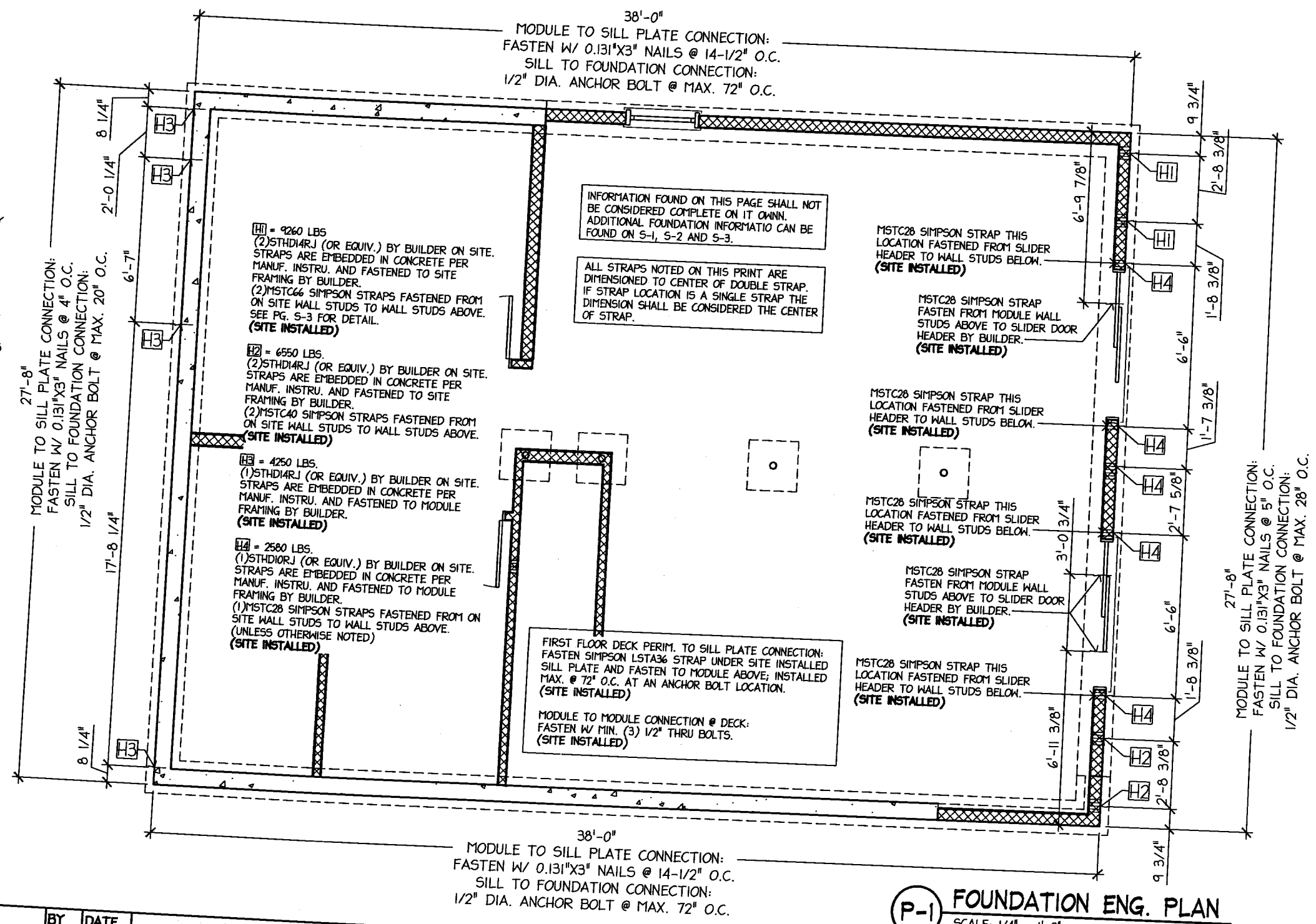
-FOR MORE DETAILED INFORMATION, REFER TO EPOCH CORPORATION FIELD INSTALLATION GUIDE-

1. THE DEALER IS RESPONSIBLE TO CHECK ALL GOVERNING CODES CONCERNING HIS MODULES AND NOTIFY EPOCH CORPORATION OF ANY REQUIRED CHANGES FROM EPOCH'S STANDARD MATERIALS AND/OR CONSTRUCTION BEFORE BUILDING BEGINS.
2. THE DEALER IS RESPONSIBLE TO NOTIFY EPOCH OF ALL CHANGES THAT MAY OCCUR FROM THE ORIGINAL ORDER (2) TWO WEEKS BEFORE CONSTRUCTION BEGINS.
3. THE FIELD CONTRACTOR OR DEALER IS RESPONSIBLE TO NOTIFY EPOCH CORPORATION WHEN THE FOUNDATION IS READY FOR DELIVERY AND SETTING OF THE MODULES. NOTIFICATION ASSURES EPOCH THAT ALL SILLS ARE LEVEL AND SQUARE, KNEEWALLS, SILLSEALER, AND/OR ANY OTHER MATERIALS ARE BRACED AS REQUIRED AND MEET GOVERNING CODES.
4. THE FIELD CONTRACTOR OR DEALER IS RESPONSIBLE FOR ALL ZONING REGULATIONS INCLUDING SETBACKS AND LOT APPROVALS PRIOR TO MODULES BEING SET. THE FIELD CONTRACTOR OR DEALER IS RESPONSIBLE TO ASSURE EPOCH CORPORATION THAT ALL ROUTES TO THE SITE MEET ALL THE TRANSPORTATION REQUIREMENTS, THE FOUNDATION IS BACKFILLED, AND THE SITE MEETS ALL REQUIREMENTS. (SEE SITE PREPARATION DRAWING)
5. THE FIELD CONTRACTOR IS RESPONSIBLE TO SUPPLY AND INSTALL THE FOLLOWING MATERIALS:
 - A. BALANCE OF MATERIALS NEEDED TO COMPLETE ALL THE PLUMBING HOOK-UPS TO THE WATER AND SEPTIC/SEWERAGE SYSTEM BELOW THE FIRST FLOOR.
 - B. BALANCE OF MATERIALS NEEDED TO COMPLETE ALL ELECTRICAL REQUIREMENTS IN THE BASEMENT AND TO HOOK UP MAIN PANEL TO THE POWER SOURCE.
 - C. ALL ADDITIONAL MATERIALS NEEDED TO COMPLETE THE BASEMENT AND FOUNDATION, BULKHEAD, SUMP PUMP, DOORS, WINDOWS, ETC.
 - D. PERMANENT LALLY COLUMNS ARE REQUIRED TO BE SET WITHIN (3) THREE DAYS OF DELIVERY OF MODULES. EPOCH CORPORATION ASSUMES NO RESPONSIBILITY FOR DAMAGE INCURRED AS A RESULT TO DO SUCH.
 - E. ALL FRAMING MATERIALS NEEDED FOR KNEEWALL PACKAGES AND/OR ANY OTHER REQUIRED SUPPORTS FOR SETTING OF THE MODULES. EPOCH CORPORATION PROVIDES SUGGESTED ELEVATIONS, OPENING SIZES, AND LOCATIONS FOR STANDARD KNEEWALL PACKAGES. PLEASE NOTE THAT ALL MATERIAL AMOUNTS ARE BASED ON THIS INFORMATION. (SEE FOUNDATION DRAWING)
 - F. ALL EXTERIOR STAIRS, PLATFORMS, RAILINGS, ETC. THE FIELD CONTRACTOR IS RESPONSIBLE TO ASSURE THAT ALL CONSTRUCTION MEETS OR EXCEEDS ALL GOVERNING CODES.
 - G. ALL INTERIOR FINISH RAILINGS. (STAIR, BALCONY, ETC.)
 - H. ALL GUTTERS, DOWNSPOUTS AND OTHER MISCELLANEOUS EXTERIOR TRIM. (IF GUTTERS, ETC. ARE TO BE INSTALLED NOTIFY EPOCH CORPORATION)
6. THE FIELD CONTRACTOR IS RESPONSIBLE TO INSTALL THE FOLLOWING FACTORY SUPPLIED ITEMS: (SEE NOTE #11)
 - A. BALANCE OF SIDING NOT ABLE TO BE INSTALLED AT THE FACTORY. THIS GENERALLY INCLUDES ALL GABLE ENDS AND THE LAST ONE OR TWO ROWS AT THE FOUNDATION LEVEL.
 - B. ALL SIDING ACCESSORIES AND TRIM NOT ABLE TO BE FACTORY INSTALLED. THIS GENERALLY INCLUDES ALL GABLE END FINISH TRIM, WOOD CORNERS, SKIRTBOARDS, AND METAL CORNERS AND ACCESSORIES FOR HARDBOARD SIDING.
 - C. ALL EXTERIOR LIGHTS.
 - D. ELECTRICAL LIGHT BOXES, DOORBELL BUTTONS, AND/OR GFI PROTECTED BOXES AND OUTLETS ON ANY WALL THAT REQUIRES FIELD INSTALLED SIDING. EPOCH TO PROVIDE ANY REQUIRED WIRES TO ALL LOCATIONS.
 - E. VENT PIPE EXTENSIONS AT THE ROOF LINE TO REQUIRED HEIGHT. MATERIAL IS PROVIDED TO ATTAIN A 24" DIMENSION ABOVE THE ROOF LINE. (SEE EXTERIOR ELEVATIONS)
 - F. WINDOWS, SHUTTERS AND SIDING IF ORDERED FOR KNEEWALL PACKAGE.(NO AIR INFILTRATION BARRIER INCLUDED)
 - G. CUTTING AND INSTALLATION OF BASEMENT, SPLIT-ENTRY AND TRI-LEVEL STAIR SYSTEMS. EPOCH PROVIDES SUGGESTED STAIR DETAILS BASED ON SUGGESTED FOUNDATION HEIGHTS. ALL OPENINGS ARE FRAMED BASED ON THIS INFORMATION. THE DEALER IS REQUIRED TO NOTIFY EPOCH OF ANY CHANGES TWO WEEKS PRIOR TO THE START OF CONSTRUCTION AND/OR ADJUST RISER AND TREAD DIMENSION FOR CHANGES AND TO COMPLY WITH ALL GOVERNING CODES.
 - H. FINAL INSTALLATION OF GABLE END DOORS. THE DOORS ARE TEMPORARILY NAILED AT THE FACTORY TO PREVENT WRACKING DURING TRANSPORTATION AND SETTING.
 - I. INTERIOR CASED OPENINGS, DOOR PACKAGES, METAL JAMB AND HEAD PLATES AND PLYWOOD FLOORING STRIPS AT MARRAIGE WALL LOCATIONS.
 - J. INTERIOR LIGHTS NOT ABLE TO BE FACTORY INSTALLED.
 - K. MISCELLANEOUS FINISH MATERIALS NOT ABLE TO BE FACTORY INSTALLED.
 - L. EXTERIOR TRIM FOR OVERHANGS THAT HAVE BEEN FLIPPED UP FOR SHIPPING AND/OR SETTING PURPOSES.
7. EPOCH CORPORATION IS REQUIRED TO COMPLETE THE FOLLOWING AT THE TIME OF DELIVERY FOR ALL MODULES:
 - A. INSTALL SILL SEALER AROUND PERIMETER BEAM OF MARRIAGE WALLS AND SET THE MODULES.
 - B. INSTALL TEMPORARY SUPPORTS UNDER THE MAIN CARRYING BEAM (SEE NOTE 5D)
 - C. SECURE THE MODULES TOGETHER TO INSURE THE STRUCTURAL INTEGRITY. THIS GENERALLY INCLUDES BOLTING THRU THE MAIN CARRYING BEAM AT 4'-0" CENTERS AND INSTALLING METAL TIE STRAPS IN THE ROOF SYSTEM.
8. IN ADDITION TO #7, EPOCH CORPORATION IS REQUIRED TO COMPLETE THE FOLLOWING AT THE TIME OF DELIVERY FOR STANDARD TRUSSED ROOFS:
 - A. LIFT AND SECURE HINGED ROOF SYSTEM.
 - B. PROPERLY SET ANY OVERHANGS THAT MAY HAVE BEEN FLIPPED.
 - C. INSTALL TOP SECTION OF ROOFS AND FELT PAPER ON 28 WIDES.
 - D. INSTALL THE BALANCE OF GABLE END SHEATHING ON TRUSSED ROOFS.
9. IN ADDITION TO #7, EPOCH CORPORATION IS REQUIRED TO COMPLETE THE FOLLOWING AT THE TIME OF DELIVERY FOR STANDARD CAPE MODULES:
 - A. ASSIST FIELD CONTRACTOR IN COVERING MODULES WITH PROTECTIVE WRAP. EPOCH CORPORATION ASSUMES NO RESPONSIBILITY FOR DAMAGE RESULTING FROM WEATHER.
10. THE FIELD CONTRACTOR IS RESPONSIBLE TO INSTALL THE FOLLOWING FACTORY SUPPLIED MATERIALS:
 - A. EXTERIOR WALLS. EPOCH PROVIDES PANELIZED WALLS THAT ARE FRAMED FOR ANY REQUIRED OPENINGS AND HAVE EXTERIOR SHEATHING FACTORY APPLIED. (SEE #12)
 - B. ROOF SYSTEM RAFTERS ARE PRE-CUT. COLLAR TIES, RIDGE POLE, ROOF SHEATHING, FELT PAPER, SHINGLES, DRIP EDGE, AND FINISH TRIM ARE SUPPLIED. (NOTE: FACTORY SUPPLIES AIR INFILTRATION BARRIER WHEN REQUIRED)
 - C. ALL SIDING FOR SECOND FLOOR AND BALANCE OF SIDING NOT ABLE TO BE COMPLETED AT THE FACTORY.
 - D. ALL STANDARD AND/OR OPTIONAL WINDOWS AND LOUVERS.
11. THE FOLLOWING NOTES ARE INTENDED TO FURTHER CLARIFY RESPONSIBILITY FOR CAPES, GAMBRELS, AND THREE BOX MODULES:
 - A. ALL ROUGH AND FINISH MATERIALS NEEDED TO COMPLETE ANY INTERIOR WORK FOR THE SECOND FLOOR.
 - B. BALANCE OF MATERIALS NEEDED TO COMPLETE ELECTRICAL SYSTEM. EPOCH PROVIDES ALL REQUIRED DIRECT FEED WIRES TO PANEL WHICH ARE GENERALLY COILED TOGETHER ON THE SECOND FLOOR.
 - C. BALANCE OF MATERIAL NEEDED TO COMPLETE THE PLUMBING SYSTEM. EPOCH PROVIDES MATERIAL NECESSARY TO COMPLETE FIRST FLOOR ONLY. (SEE PLUMBING DRAWING FOR FURTHER DETAILS)
12. EPOCH CORPORATION PROVIDES A PANELIZED WALL PLAN FOR THE SECOND FLOOR WITH A CROSS SECTION AND DETAILS TO INSURE PROPER SETTING OF FACTORY SUPPLIED PARTS.(SEE SHIPPING ENVELOPE)
13. THE FOLLOWING NOTES ARE INTENDED TO FURTHER CLARIFY RESPONSIBILITY ON FOUR MODULE BUILDINGS:
 - A. COMPLETE ALL PLUMBING CONNECTIONS BETWEEN FLOORS WITH MATERIALS SUPPLIED BY EPOCH.
 - B. COMPLETE ALL ELECTRICAL CONNECTIONS BETWEEN FLOORS AND BETWEEN SECOND FLOOR MODULES. THAT GENERALLY CONSISTS OF PLUGGING WIRES TOGETHER THAT ARE SUPPLIED WITH U/L APPROVED AMP CONNECTORS.
 - C. CABLE AND PHONE WIRES - ENOUGH WIRE HAS BEEN SUPPLIED TO DROP DOWN FROM UPPER FLOORS TO BASEMENT THROUGH CONDUIT LOCATED IN PLUMBING AREA OF FIRST FLOOR.
 - D. SHEETROCK CEILINGS THAT MUST BE LEFT OUT FOR PLUMBING CONNECTIONS WILL BE FINISHED ON SITE BY FIELD CONTRACTOR. ALL MATERIALS FOR SHEETROCKED CEILINGS WILL BE SUPPLIED AND INSTALLED BY FIELD CONTRACTOR.
 - E. IT IS THE CUSTOMER'S RESPONSIBILITY TO NOTIFY EPOCH OF DESIRED HEIGHT OF SLOPED STAIR WALLS. IF EPOCH RECEIVES NO NOTIFICATION, WALLS WILL BE HANDRAIL HEIGHT.
14. ALL FIELD CONNECTIONS (INCLUDING ALL STRUCTURAL, PLUMBING, MECHANICAL, AND ELECTRICAL) ARE UNDER THE JURISDICTION OF THE LOCAL BUILDING OFFICIAL.
15. ANY AND ALL ALTERATIONS OR MODIFICATIONS TO THE BUILDING IS THE RESPONSIBILITY OF THE BUILDER/DEALER. ALL WORK DONE ON SITE IS UNDER THE JURISDICTION OF THE LOCAL BUILDING OFFICIAL.

 <p>Epochhomes fine custom modular homes</p>	<p>P.O. BOX 235 PEMBROKE, N.H. 03275 1-877-GO-EPOCH (603) 225-3907 FAX: (603) 225-8329 www.epochhomes.com</p>	<p>SHEET TITLE:</p> <p>GENERAL NOTES FOR ALL HOUSES</p>	<p>SHEET NUMBER:</p> <p>A-6</p>
		<p>DRAWN BY: ML SCALE: N.T.S.</p>	<p>DATE: 5/28/13</p>


FOUNDATION NOTES:
 FOUNDATION MUST BE DESIGNED BY OTHERS TO RESIST LATERAL AND LONGITUDINAL SHEAR, UPLIFT, AND HOLDOWN FORCES IN BOTH DIRECTIONS. MASONARY UNITS ARE NOT RECOMMENDED FOR PIER TYPE FOUNDATIONS. WHERE PIER OR PILE TYPE FOUNDATIONS ARE USED THEY REQUIRE A CONTINUOUS BEAM CONNECTING THE PIER OR PILE. THIS BEAM MUST BE OF SUFFICIENT STRENGTH TO RESIST ALL LOADS IMPOSED. THE BEAM IS DESIGNED BY THE FOUNDATION DESIGNER AND IS NOT DESIGNED WITHIN THESE CALCULATIONS. CALCUALTIONS DO NOT ACCOUNT FOR WAVE OR FLOODING IMPACT LOADS ON BUILDINGS. HOLD DOWN VALUES ARE GIVEN FOR ALL WIND DIRECTIONS. TO DESIGN FOUNDATIONS FOR A SINGLE WIND DIRECTION LOAD CASE, DUE TO SHEAR-WALL OVERTURNING MOMENT, HOLD DOWN VALUES SHOWN WILL ALTERNATE AT THE ENDS OF ANY PARTICULAR WALL SEGEMENT IN A SHEAR LINE AS UPLIFT AND DOWNFORCE AT OPPOSING ENDS OF THE SEGEMENT.

ALL PORCH AND DECK BRACING FOR LATERAL AND UPLIFT LOADS IS BY OTHERS. PORCH AND DECK SHALL BE DESIGNED TO SELF SUPPORT AND NOT RELY ON MAIN HOUSE FOR WIND DESIGN UNLESS SPECIFICALLY STATED IN THIS DESIGN.



(P-1) FOUNDATION ENG. PLAN
 SCALE: 1/4" = 1'-0"

REVISIONS	NO.	DESCRIPTION	BY	DATE



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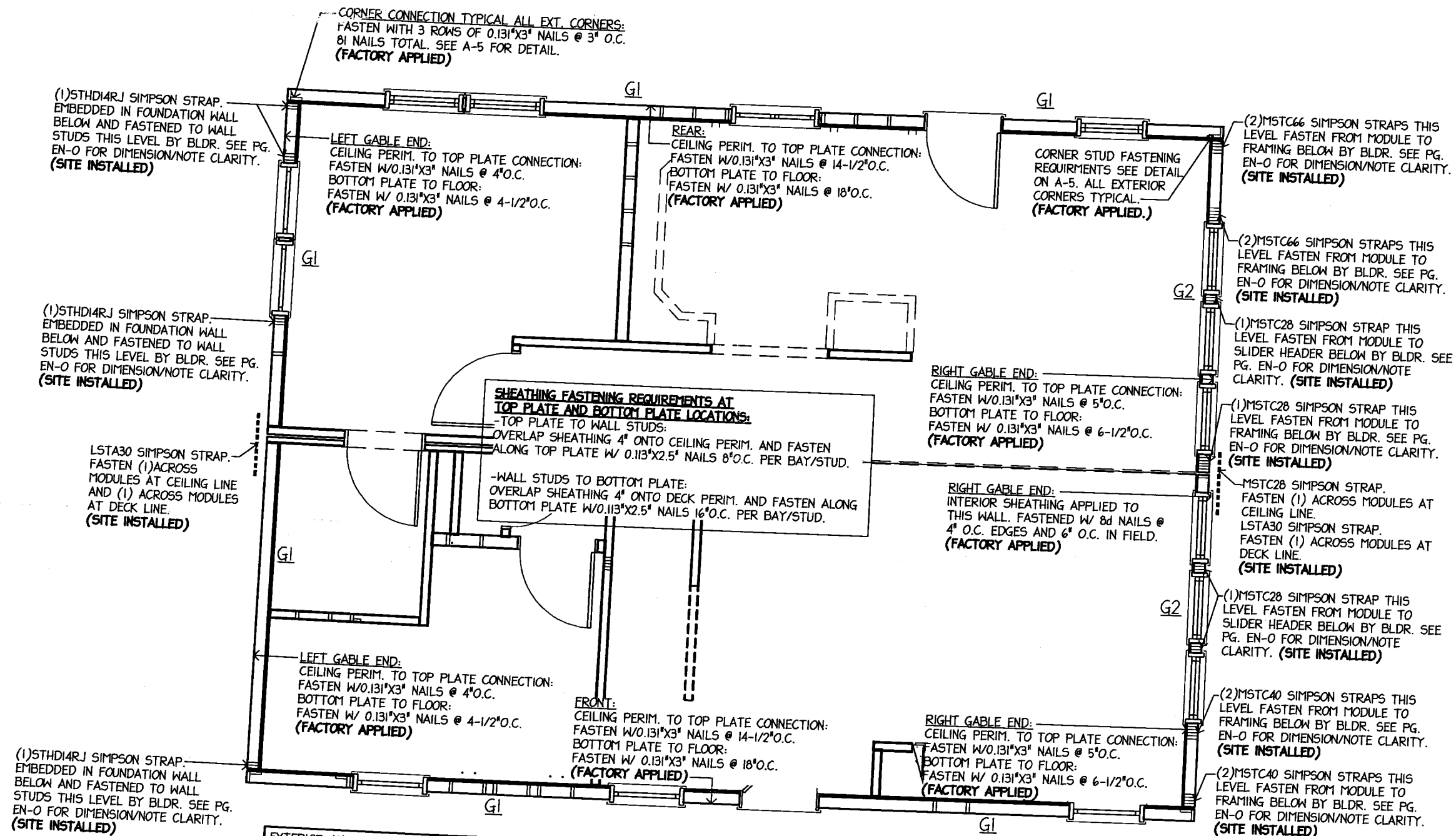
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 LACONIA, NH

SHEET TITLE:
 FOUNDATION
 ENG. PLAN
DRAWN BY: ML
 SCALE: AS NOTED

SHEET NUMBER:
 EN-0

DATE: 8/9/13



P-1 FIRST LEVEL ENG. PLAN
SCALE: 1/4" = 1'-0"

REVISIONS	NO.	DESCRIPTION	BY	DATE

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ENG. PLAN**
DRAWN BY: ML
DATE: 8/9/13
SCALE: AS NOTED

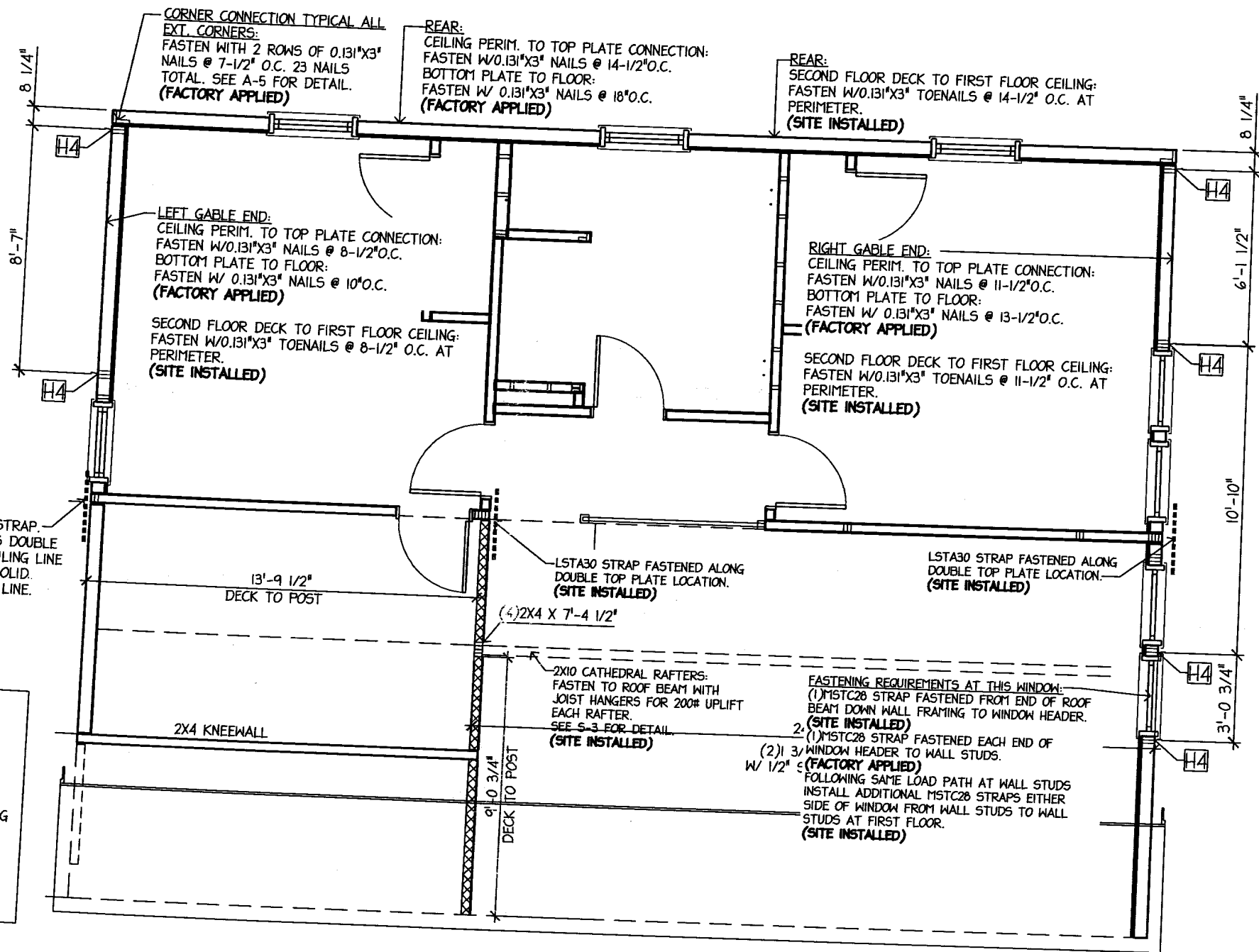
SHEET NUMBER:
EN-1

ALL STRAPS NOTED ON THIS PRINT ARE
DIMENSIONED TO CENTER OF STRAP LOCATION.

H4 = 2580 LBS.
(1)MSTC28 SIMPSON STRAP (OR EQUIV.)
STRAPS ARE FASTENED FROM WALL STUDS
THIS LEVEL TO SOLID FRAMING BELOW.
(SITE INSTALLED)

**SHEATHING FASTENING REQUIREMENTS AT
TOP PLATE AND BOTTOM PLATE LOCATIONS:**
-TOP PLATE TO WALL STUDS:
OVERLAP SHEATHING 4" ONTO CEILING PERIM. AND FASTEN
ALONG TOP PLATE W/ 0.113"x2.5" NAILS 8"O.C. PER BAY/STUD.
-WALL STUDS TO BOTTOM PLATE:
OVERLAP SHEATHING 4" ONTO DECK PERIM. AND FASTEN ALONG
BOTTOM PLATE W/0.113"x2.5" NAILS 8"O.C. PER BAY/STUD.
-MIN. 1/2" PLYWOOD FASTENED OVER MODULE TO MODULE
CONNECTION: FASTEN SHEATHING W/ 0.131"x3" NAILS INTO DECK
FRAMING AND FIRST FLOOR CEILING FRAMING @ 4" O.C. AT
EDGES AND 6" O.C. IN PANEL FIELD.

LSTA30 SIMPSON STRAP.
FASTEN (1)ACROSS DOUBLE
TOP PLATE AT CEILING LINE
AND (1) ACROSS SOLID
FRAMING AT DECK LINE.
(SITE INSTALLED)



P-1 SECOND LEVEL ENG. PLAN
SCALE: 1/4" = 1'-0"

NO.	DESCRIPTION	BY	DATE

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SHEET TITLE:
**SECOND LEVEL
ENG. PLAN**
DRAWN BY: ML
SCALE: AS NOTED
DATE: 8/9/13

SHEET NUMBER:
EN-2

1. THE FIELD CONTRACTOR IS RESPONSIBLE FOR THE STRUCTURAL DESIGN AND CONSTRUCTION OF ALL CONCRETE WORK. THIS FOUNDATION PLAN IS PROVIDED FOR DIMENSIONS AND SUGGESTED WALL HEIGHTS ONLY.

2. THE FIELD CONTRACTOR IS RESPONSIBLE TO ASSURE THAT ALL FOOTINGS AND WALLS ARE SIZED TO MEET LOCAL AND/OR STATE CODES AND THAT ALL FOOTINGS ARE PLACED BELOW FROST LINE ON UNDISTURBED SOIL.

3. THE FIELD CONTRACTOR IS RESPONSIBLE TO PROVIDE THE PROPER AMOUNT OF NATURAL LIGHT AND VENTILATION IN THE BASEMENT OR CRAWL SPACE PER LOCAL AND/OR STATE CODES. HE IS ALSO RESPONSIBLE TO ASSURE THAT THE OPENINGS DO NOT INTERFERE WITH ANY OTHER REQUIRED OPENINGS; (PLUMBING, ENTRANCES, SERVICE LOCATION, ETC.)

4. THE FIELD CONTRACTOR OR DEALER IS TO
INSTALL SMOKE DETECTORS IN THE
BASEMENT.

5. ALL STAIR OPENINGS ARE FRAMED BASED ON FOUNDATION HEIGHTS SHOWN ON THIS PLAN.

6. ANY OPENINGS IN THE FOUNDATION WALL ARE TO HAVE PROPERLY SIZED HEADERS. DETERMINATION OF HEADER SIZES IS THE SOLE RESPONSIBILITY OF THE CUSTOMER.

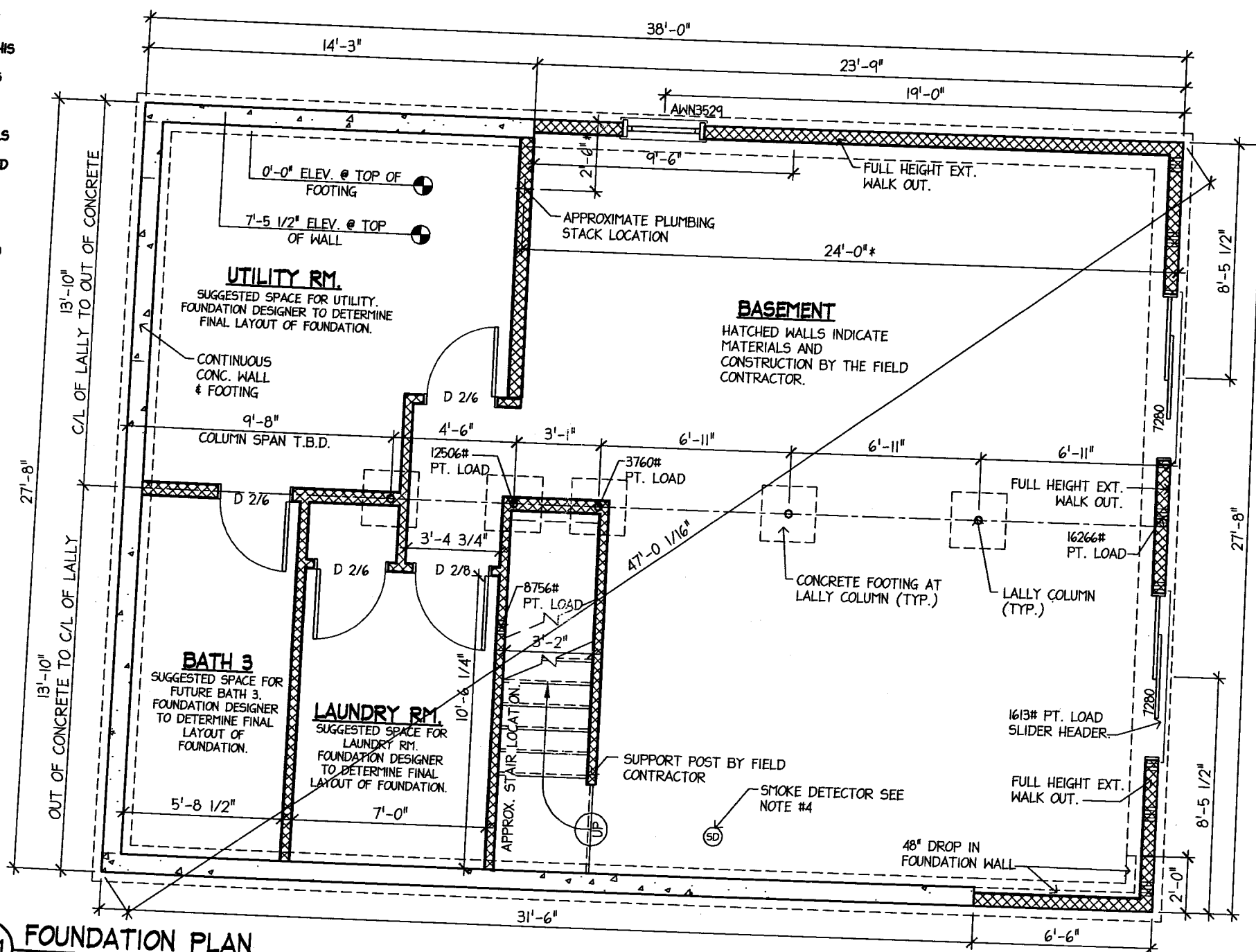
7. * - DIMENSIONS ARE APPROXIMATE.

8. THE FIELD CONTRACTOR IS TO NOTIFY EPOCH CORPORATION WHEN THE FOUNDATION, SILL, KNEEWALLS AND/OR ANY OTHER REQUIRED CONSTRUCTION ARE READY FOR SETTING OF THE MODULES. HIS NOTIFICATION ASSURES EPOCH CORP. THAT THE SILLS AND/OR OTHER REQUIRED CONSTRUCTION ARE SQUARE AND LEVEL AND MEET ALL LOCAL AND/OR STATE CODES.

9. THE FIELD CONTRACTOR IS RESPONSIBLE TO INSTALL PERMANENT LALLY COLUMNS A MAXIMUM OF 3 DAYS AFTER MODULES ARE SET. EPOCH CORPORATION ASSUMES NO RESPONSIBILITY OF DAMAGE FOR FAILURE TO DO SO.

10. THE FIELD CONTRACTOR IS RESPONSIBLE TO INSTALL AND SUPPLY A 2X6 W/ 1/2" SHIM ON TOP OF THE FOUNDATION SILL IN THE EVENT THAT THERE IS A JOG IN THE FOUNDATION.

11. LALLY COLUMN FOOTINGS TO BE DESIGNED BY OTHERS PER BUILDING, SITE SOIL CONDITIONS, AND LOCAL CODE REQUIREMENTS.



P-1 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

REVISIONS	NO.	DESCRIPTION	BY	DATE
	1	REV'D PER PRRF DATED 6/13/13D	ML	6/14/13
	2	REV'D PER MARK-UP DATED 7/25/13D	ML	7/25/13

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PROJECT:
28X38 CAPE
BUILDER:
BAILEY PARK PROP, LLC.
247 HAYDEN RD.
HOLLIS, NH 03049

NUMBER:
4332-13

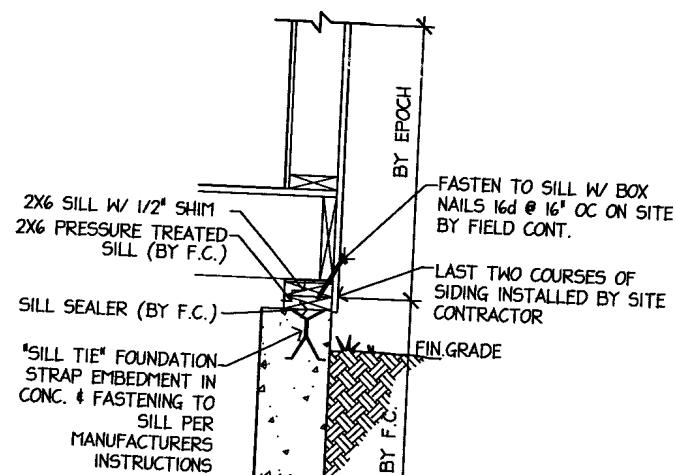
ENDBUYER:
HILLCROFT SPEC.
LOT 178-322-4, HILLCROFT RD
LACONIA, NH 03246

SHEET TITLE:
FOUNDATION
PLAN

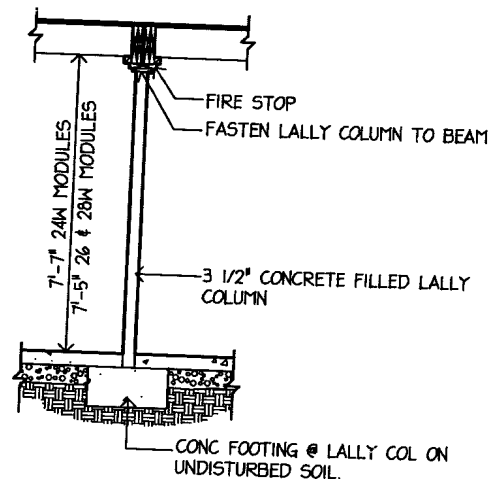
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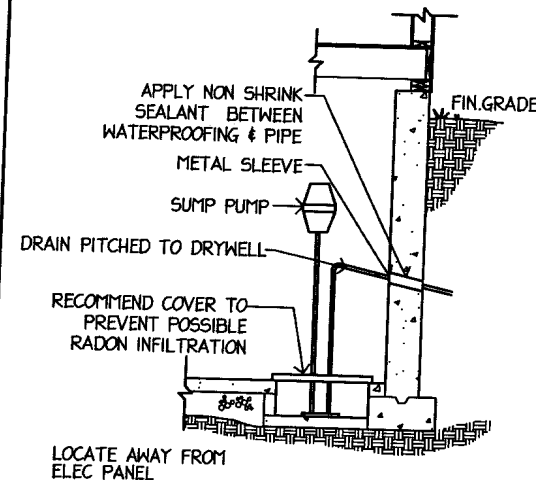
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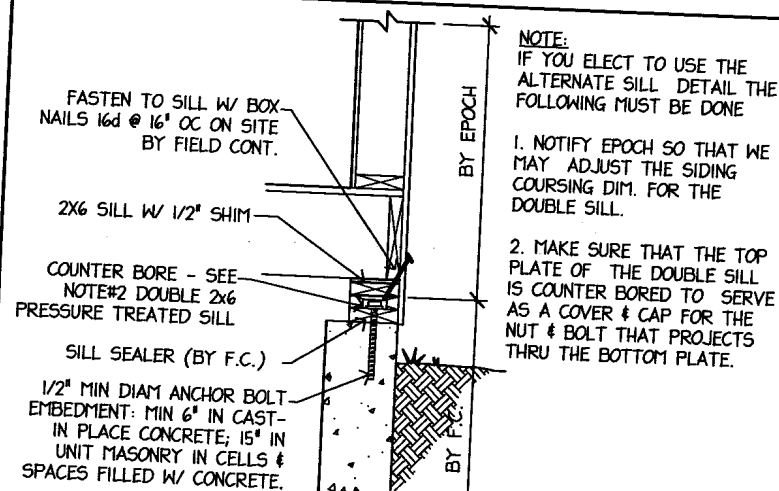
STANDARD SILL DETAIL



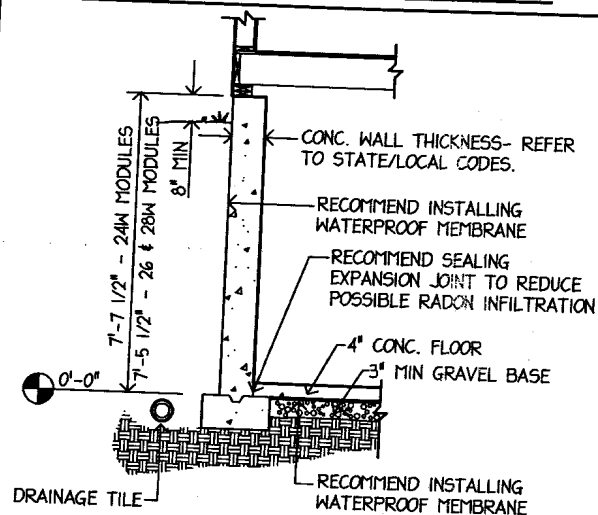
TYPICAL LALLY COLUMN DETAIL



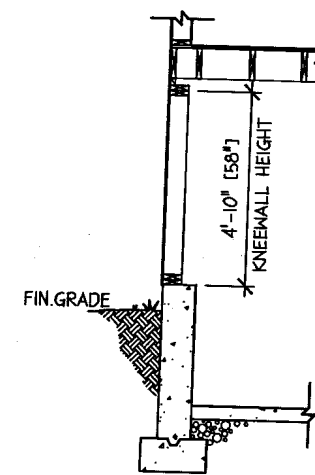
SECTION AT SUMP PUMP



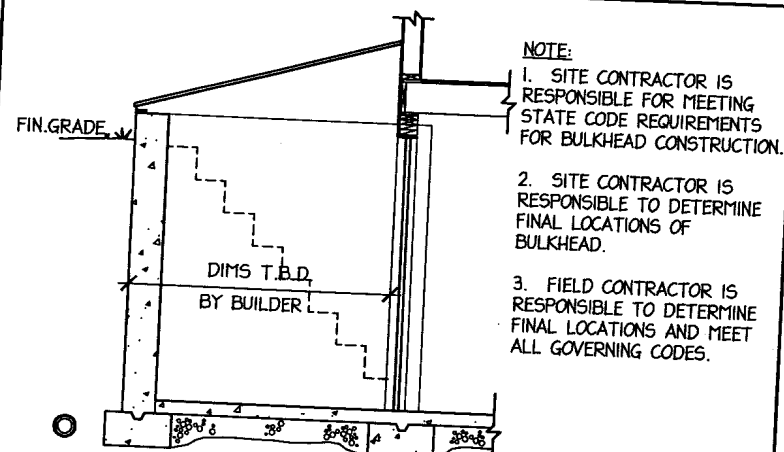
ALTERNATE SILL DETAIL



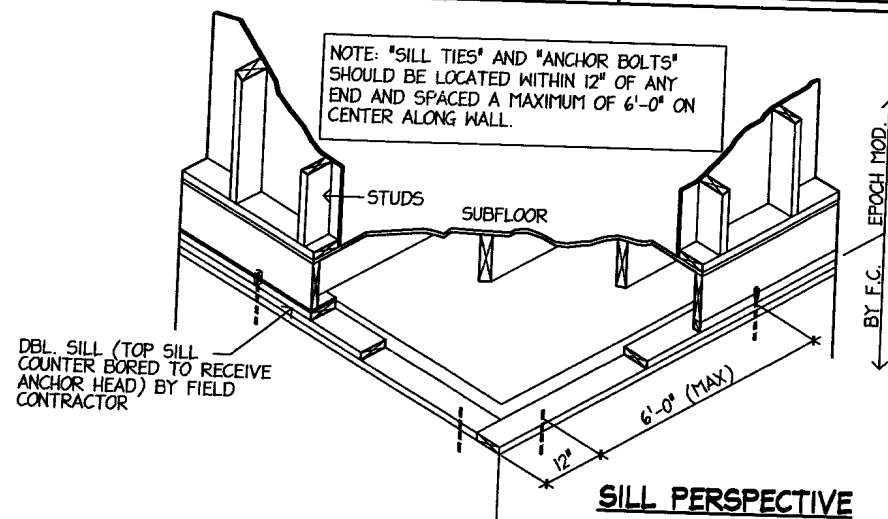
TYPICAL FOUND WALL SECTION



FLUSH KNEEWALL



SECTION THRU BULKHEAD



SILL PERSPECTIVE

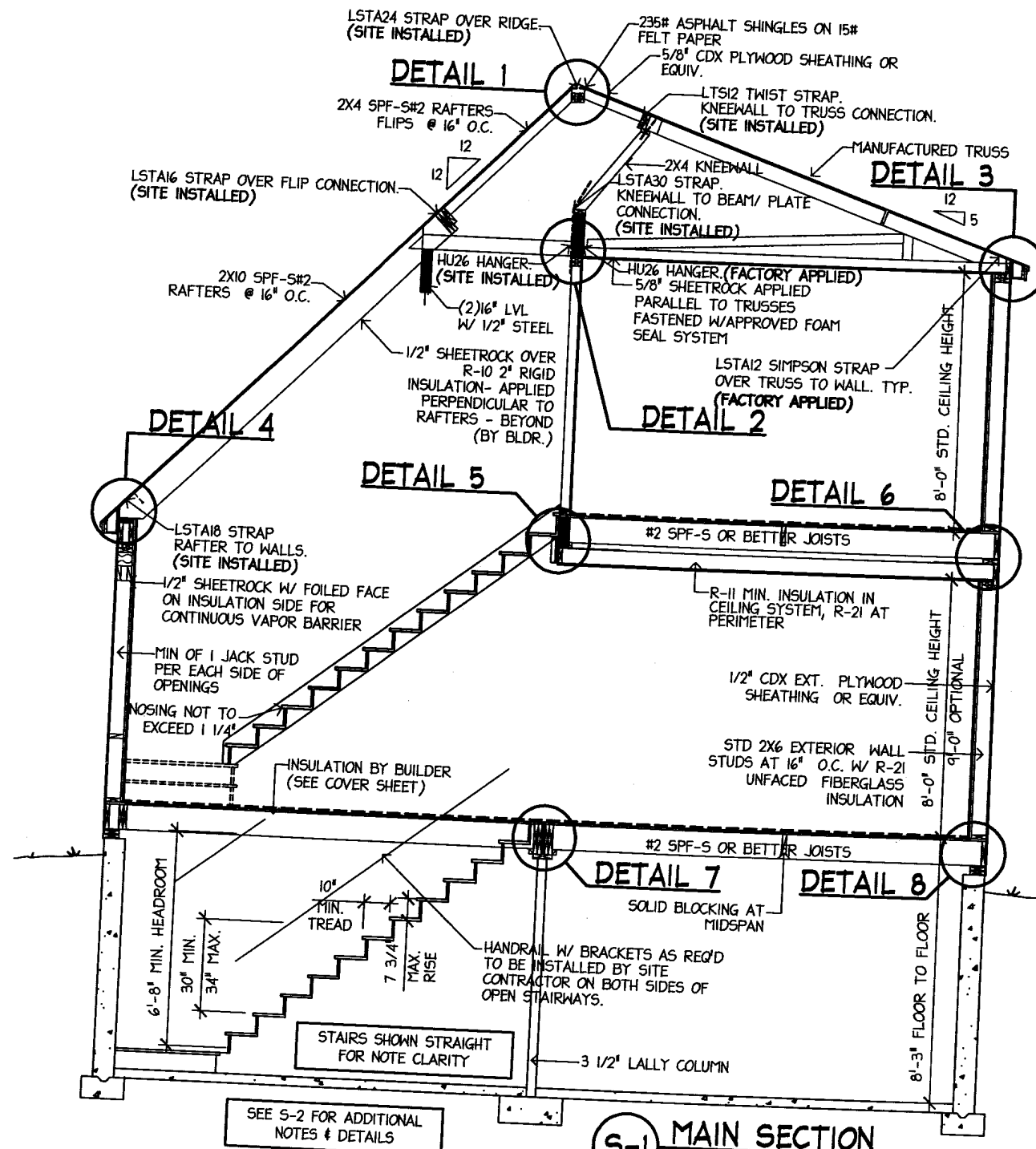
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SHEET TITLE:
**FOUNDATION
DETAILS**

DRAWN BY: JSA **DATE:** 5/28/13
SCALE: AS NOTED

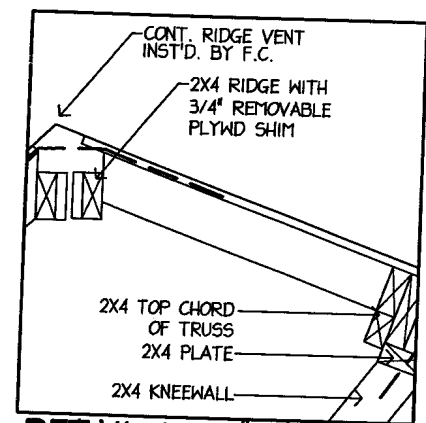
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S-2

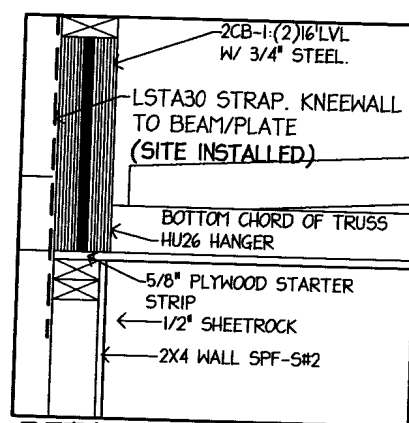


MARRIAGE WALLS:
2X3 MARRIAGE WALL STUDS AT 16" O.C. W/ 1/2" SHEETROCK ON INTERIOR & 3/8" CDX PLYWOOD SHEATHING ON OPPOSITE SIDE.

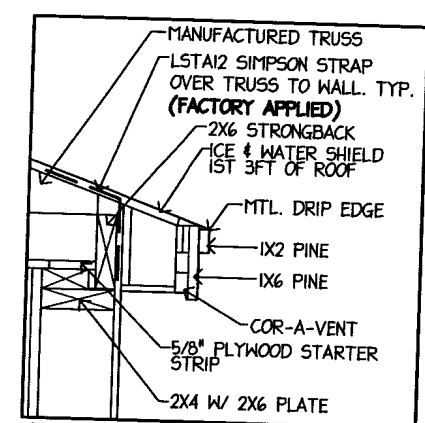
(S-1) MAIN SECTION
SCALE: 1/4" = 1'-0"
INTERIOR WALLS:
STD INT. WALLS ARE 2X4'S AT 16" O.C. WITH SINGLE BOTTOM & TOP PLATES & 1/2" SHEETROCK ON BOTH SIDES



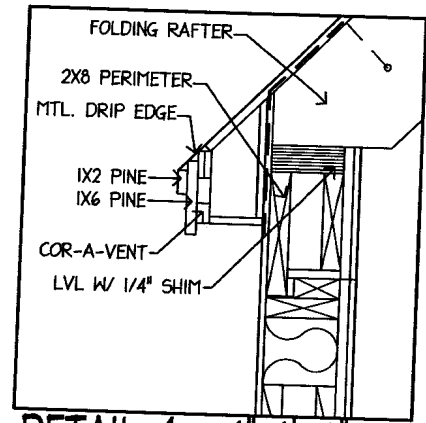
DETAIL 1 - 1"=1'-0"



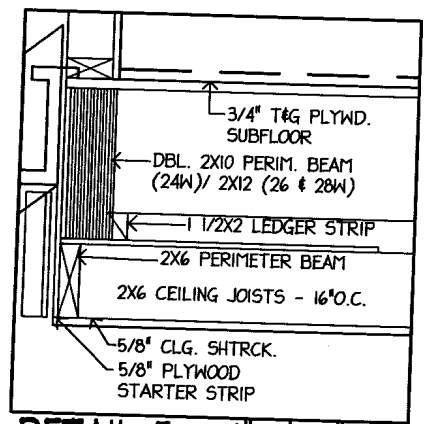
DETAIL 2 - 1"=1'-0"



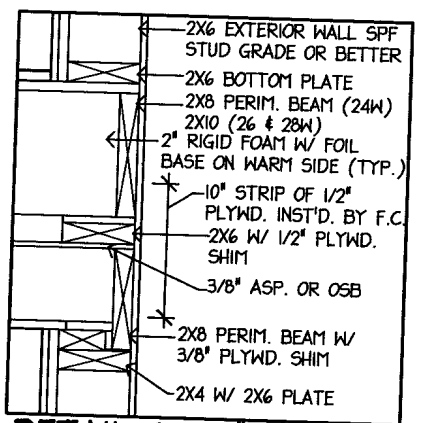
DETAIL 3 - 1"=1'-0"



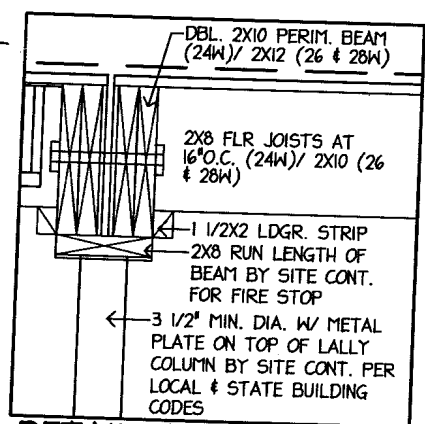
DETAIL 4 - 1"=1'-0"



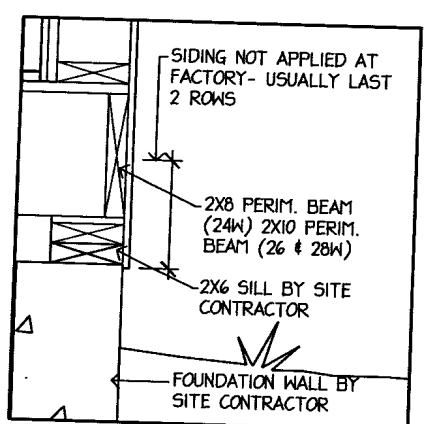
DETAIL 5 - 1"=1'-0"



DETAIL 6 - 1"=1'-0"




DETAIL 7 - 1"=1'-0"



DETAIL 8 - 1"=1'-0"

- NOTE:**
1. ALL RAFTERS, PERIMETER BEAMS, FLOOR & CEILING JOIST ARE #2 SPF-S OR BETTER.
 2. ALL OTHER 2X LUMBER TO BE STUD GRADE OR BETTER UNLESS OTHERWISE NOTED.
 3. MODULES ARE BOLTED TOGETHER AT 4'-0" O.C. W/ 1/2" DIA. BOLTS IN BASEMENT (BY EPOCH SETTING CREW)



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<p>SHEET TITLE: SECTION & DETAILS</p> <p>DRAWN BY: ML DATE: 8/12/13</p> <p>SCALE: AS NOTED</p>	<p>SHEET NUMBER:</p> <p style="font-size: 2em;">S-3</p>
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ELECTRICAL NOTES:

1. EPOCH CORP. ASSURES THAT ALL ELECTRICAL REQUIREMENTS MEET OR EXCEED THE CURRENT NATIONAL ELECTRIC CODE, ALL ELEMENTS ARE "UL" APPROVED AND ALL ELECTRICAL WORK HAS BEEN TESTED AND APPROVED.
2. THE FIELD CONTRACTOR IS REQUIRED TO MAKE ALL FINAL ELECTRICAL CONNECTIONS TO THE PANEL AND OTHER CONNECTIONS NOT POSSIBLE TO BE COMPLETED AT THE FACTORY. ALL WIRES WILL BE PLAINLY MARKED AND PROVIDED WITH CONNECTORS WHERE POSSIBLE.
3. HEATING ELEMENTS ARE SIZED TO BE 10%-15% ABOVE THE REQUIRED CALCULATED HEAT LOSS AND ARE RATED AT 250 WATTS PER FOOT. THE MAXIMUM AMOUNT OF WATTAGE PER CIRCUIT IS 3750.
4. ALL PANELS ARE PROVIDED WITH PROPER SIZED CIRCUIT BREAKERS FOR THE NUMBER OF FACTORY INSTALLED CIRCUITS. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE TO PROVIDE AND INSTALL ADDITIONAL BREAKERS.
5. THE DEALER IS RESPONSIBLE TO NOTIFY EPOCH CORP. OF SIZE AND EXACT LOCATION OF SPECIAL ELECTRIC REQUIREMENTS (MICROWAVE OVENS, SPECIAL APPLIANCES, ETC.) BEFORE CONSTRUCTION BEGINS.
6. ALL BATH, KITCHEN COUNTER, AND EXTERIOR OUTLETS ARE PROTECTED BY A GROUND FAULT CIRCUIT.
7. SEE GENERAL SPECIFICATIONS SHEET FOR ADDITIONAL INFORMATION.
8. ALL WIRING IS TYPE NM/COPPER UNLESS SPECIFIED.
9. RANGE CABLE IS 4-PRONG, 8-3 COPPER WITH GROUND.
10. ELECTRICAL REQUIREMENTS MEET OR EXCEED MASS SUPPLEMENTARY ELECTRICAL CODE.
11. RANGE FANS ARE DUCTED THRU THE EXTERIOR WALL. INTERIOR WALL LOCATIONS ARE FIGURED FOR A DUCTLESS HOOD.
12. BATH FAN/LIGHT COMBINATIONS ARE VENTED TO THE EXTERIOR.
13. ALL REQUIRED PHOTOELECTRIC SMOKE DETECTORS, CO AND HEAT DETECTORS ARE CONNECTED AND WIRED AS A TYPE III SYSTEM. SMOKE DETECTOR(S) ON THE 1ST FLOOR ARE WIRED AND INSTALLED AT THE FACTORY. ALL OTHERS ARE INSTALLED BY FIELD CONTRACTOR ON SITE @ LOCATIONS TO BE DETERMINED BY THE LOCAL FIRE MARSHALL (WIRING PROVIDED AT FACTORY). ALL DETECTORS TO BE CEILING MOUNTED. FINAL SYSTEM INSPECTION AND APPROVAL IS THE RESPONSIBILITY OF THE LOCAL FIRE OFFICIAL.
14. ALL FACTORY PROVIDED SMOKE DETECTORS ARE AC/DC WITH BATTERY BACK-UP.
15. BUILDINGS GOVERNED BY THE 2011 NEC CODE ARE REQUIRED TO HAVE AFCI PROTECTION ON ALL 15A AND 20A 120V BRANCH CIRCUITS SUPPLYING OUTLETS IN ALL LIVING AREAS AS WELL AS CLOSETS, HALLS AND SIMILAR AREAS. (DEDICATED APPLIANCE CIRCUITS, MEANING DISHWASHER, DISPOSAL, ETC.. DO NOT APPLY)
16. BUILDINGS GOVERNED BY THE 2011 NEC CODE ARE REQUIRED TO HAVE TAMPER RESISTANT OUTLETS.
17. BUILDINGS GOVERNED BY THE 2011 NEC CODE ARE REQUIRED TO HAVE A SPARE NEUTRAL CONDUCTOR AT ALL SWITCHES THAT CONTROL LIGHTING LOADS.

PLUMBING AND HOT WATER HEAT NOTES:

1. STANDARD PLUMBING SYSTEMS ARE:
 - a. DRAIN, WASTE, AND VENT PIPES ARE PVC SCH 40. THE MAIN STACK IS 3".
 - b. DISTRIBUTION LINES ARE 1/2" OR 3/4" TYPE "L" COPPER OR PEX. THE DEALER IS RESPONSIBLE TO NOTIFY EPOCH OF ANY SPECIAL PLUMBING LOCATIONS OR REQUIREMENTS BEFORE CONSTRUCTION IS STARTED.
2. ALL PLUMBING DRAINS ARE STUBBED THRU THE FLOOR. THE PLUMBING CONTRACTOR IS RESPONSIBLE TO INSTALL SHUTOFF VALVES AND COMPLETE THE PLUMBING SYSTEM, MEETING OR EXCEEDING ALL GOVERNING CODES.
3. THE PLUMBING CONTRACTOR IS RESPONSIBLE TO MAKE ALL FINAL CONNECTIONS NOT POSSIBLE AT THE FACTORY AND TO EXTEND ALL 3" VENT PIPES ABOVE THE ROOF LINE TO MEET OR EXCEED ALL GOVERNING CODES.
4. EPOCH CORP. ASSURES THAT ALL FACTORY INSTALLED PLUMBING HAS BEEN AIR TESTED AND APPROVED. THE TESTS ARE AS FOLLOWS:
 - a. DISTRIBUTION LINES ARE PRESSURIZED AT 125 PSI HELD FOR 15 MINUTES.
 - b. PVC LINES ARE PRESSURIZED AT 6 PSI AND HELD FOR 15 MINUTES.
5. EPOCH CORP. PLUMBING SYSTEMS MEET OR EXCEED THE BOCA PLUMBING CODE.
6. HEATING ELEMENTS ARE SIZED TO BE 10%-15% ABOVE THE REQUIRED CALCULATED HEAT LOSS AND ARE RATED AT 600 BTU'S PER FOOT OF FINNED LENGTH. CALCULATIONS ARE BASED ON ASSUMED WATER TEMPERATURE OF 185°F.
7. THE PLUMBING CONTRACTOR IS RESPONSIBLE TO SUPPLY AND INSTALL ALL BOILER SWITCHES, THERMOSTATS, AND WIRING FOR THE SAME. HE IS ALSO RESPONSIBLE TO DETERMINE ALL ZONING.
8. THE HEATING COPPER FEED LINE ARE TO BE TYPE "M" OR PEX AND STUBBED THRU THE FLOOR AT EACH END OF THE INDIVIDUAL UNITS. THE PLUMBING CONTRACTOR IS RESPONSIBLE TO COMPLETE THE HEATING SYSTEM, MEETING OR EXCEEDING GOVERNING CODES.
9. KITCHEN SINKS ARE EQUIPPED WITH A SHUTOFF VALVE AND 30" SUPPLY LINE DROPPED THRU FLOOR FOR EACH WATER LINE.
10. BATH LAV'S. ARE EQUIPPED WITH A SHUTOFF VALVE AND A 24" SUPPLY LINE DROPPED THRU THE FLOOR FOR EACH WATER LINE.
11. - - - - - CONNECTIONS TO BE MADE BY FIELD CONTRACTOR UNDER THE FLOOR OR IN THE 2ND FLOOR ROOF AREA.
12. CONTRACTOR IS RESPONSIBLE TO FURNISH AND INSTALL THE HOT WATER HEATER, MEETING OR EXCEEDING GOVERNING CODES.
13. CONTROL VALVES ARE INSTALLED AND CONFORM TO LOCAL CODES.
14. CONTRACTOR IS RESPONSIBLE TO EQUIP. EXT. HOSE SUPPLY WITH A VACUUM BREAKER AND INSTALL AS PER LOCAL GOVERNING CODES.
15. WATER SUPPLY SYSTEM BELOW FIRST FLOOR IS SUGGESTED ONLY - ALL WORK IS TO BE DONE ON SITE BY GEN'L CONTRACTOR, USING APPROVED MAT'L'S. - PER APPLICABLE CODES.
16. PLUMBING CONTRACTOR IS TO CONNECT ALL DRAINS BELOW FLOOR - COMPLETING SYSTEM TO MAIN HOUSE DRAIN PER APPLICABLE CODES. INSTALLING CLEAN OUTS AS REQUIRED.
17. ALL SOLDER JOINTS TO BE DONE WITH 95-5 LEAD FREE SOLDER.
18. ALL VERTICAL PVC DWV LINES TO BE SUPPORTED AT A MINIMUM OF 4'-0". EPOCH CORP. TO USE PLASTIC STRIP ATTACHED TO PIPE & FASTENED TO STUD.

REVISIONS	NO.		DESCRIPTION	BY	DATE



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PROJECT:
28X38 CAPE
BUILDER:
BAILEY PARK PROP, LLC.
--
LACONIA, NH

NUMBER:
4332-13

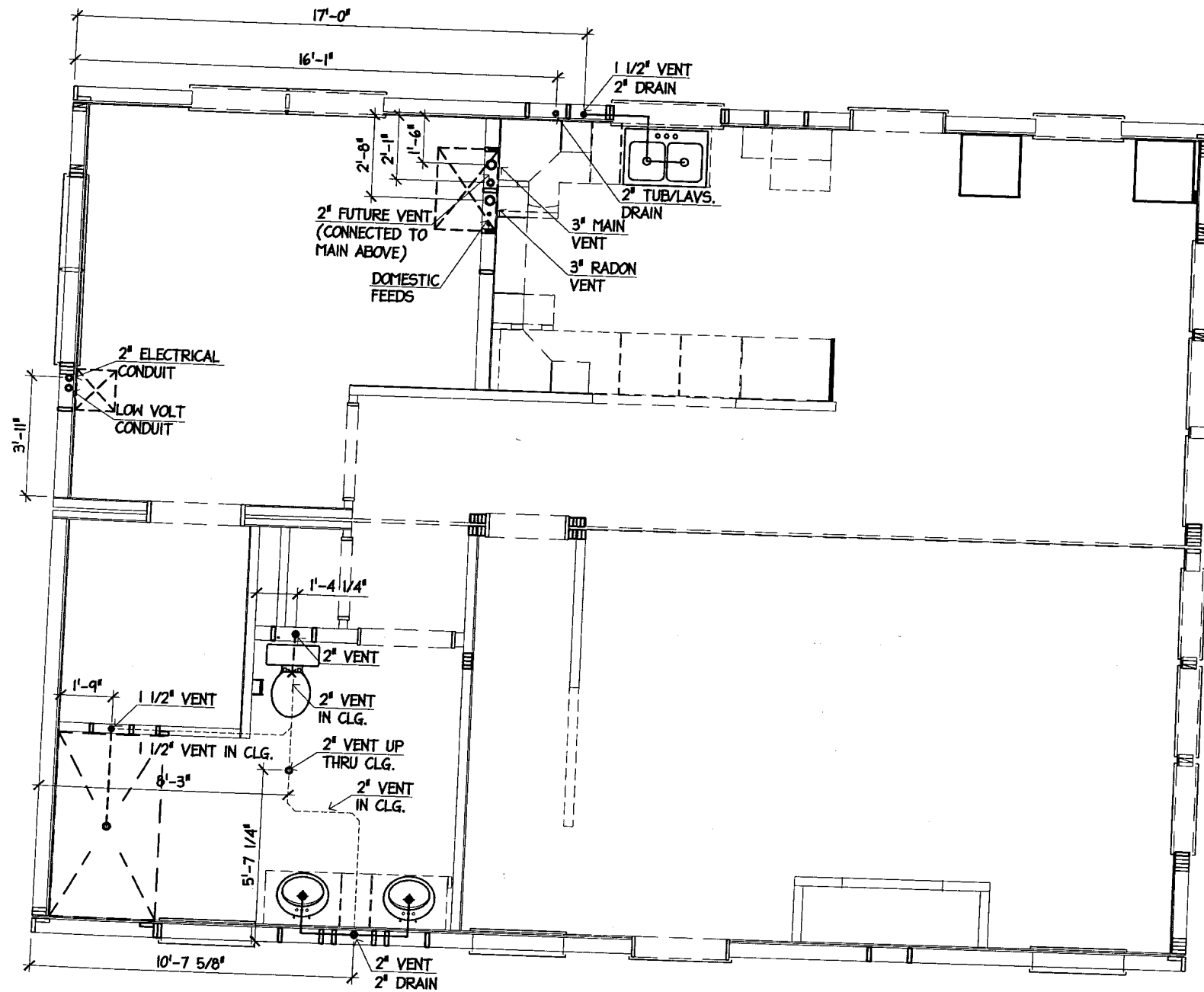
ENDBUYER:
HILLCROFT SPEC.
LOT 178-322-4, HILLCROFT RD
LACONIA, NH

SHEET TITLE:
MECHANICAL NOTES

DRAWN BY: SPC
SCALE: NO SCALE

DATE: 1/31/11

SHEET NUMBER:
M-1



PLUMBING AND HOT WATER HEAT NOTES:

1. SEE M-1 FOR PLUMBING AND HOT WATER HEAT NOTES.

P-1 FIRST LEVEL PLUMBING PLAN

SCALE: 1/4" = 1'-0"

REVISIONS	NO.	DESCRIPTION	BY	DATE				

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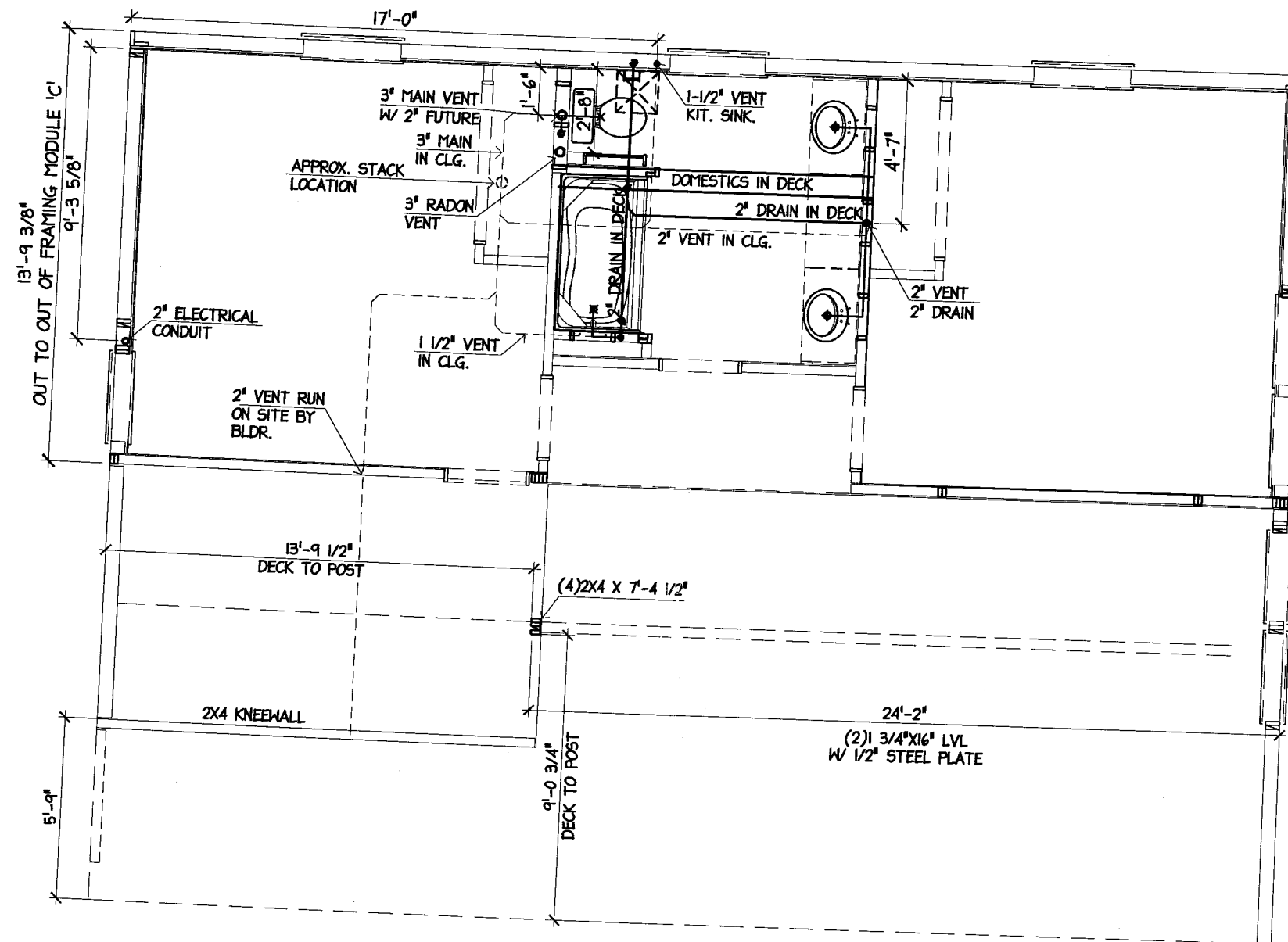
PROJECT:
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BUILDER:
BAILEY PARK PROP, LLC.
247 HAYDEN RD.
HOLLIS, NH 03049

NUMBER:
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ENDBUYER:
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LOT 178-322-4, HILLCROFT RD
LACONIA, NH 03246

SHEET TITLE:
**FIRST LEVEL
PLUMBING**
DRAWN BY: ML
SCALE: AS NOTED

SHEET NUMBER:
P-1

DATE: 8/24/13



PLUMBING AND HOT WATER HEAT NOTES:
 1. SEE M-1 FOR PLUMBING AND HOT WATER HEAT NOTES.

P-1 SECOND LEVEL PLUMBING PLAN
 SCALE: 1/4" = 1'-0"

NO.	DESCRIPTION	BY	DATE
1	ADDED VENT PIPE	ML	8/21/13

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SHEET TITLE:
SECOND LEVEL PLUMBING
DRAWN BY: ML
DATE: 8/21/13
SCALE: AS NOTED

SHEET NUMBER:
P-2

SITE PREPARATION NOTES:

1. SILL MUST BE INSTALLED BY THE CUSTOMER. SILL SHALL BE LEVEL, SQUARED, AND STRAIGHT. SILL SHALL BE ANCHORED TO THE FOUNDATION AND THERE SHALL BE NO PROTRUSIONS OR OBSTRUCTIONS ABOVE THE SILL. WHERE SHIMMING IS REQUIRED, SHIMS SHALL BE SOLID AND LOCATED NO MORE THAN 2'-0" APART.

2. KNEEWALLS, WHEN USED, SHALL BE ALIGNED, LEVELED, AND SOLIDLY BRACED BY THE CUSTOMER. THE SILL AT THE TOP OF KNEEWALL(S) SHALL CONSIST OF A MINIMUM OF ONE(1) 2x6 TOP PLATE. THE KNEEWALL BRACING SHALL BE SUFFICIENTLY ANCHORED SO AS TO PERMIT ALIGNMENT OF THE HOUSE TO THE SILL UNDER PARTIAL LOAD. WHEN USING FOUR(4) KNEEWALLS, SEE SPECIAL KNEEWALL BRACING DETAIL SHEET.

3. ALL FORM TIES SHALL BE REMOVED.

4. THE SITE SHALL BE CLEAR OF TREES, BOULDERS AND OTHER OBSTRUCTIONS IN ORDER TO PROVIDE TWO (2) AREAS APPROX. 30'x60' FOR THE CRANE AND THE TRANSPORTERS WITH REASONABLE ACCESS TO THESE AREAS FROM THE STREET. THE TWO AREAS SHALL BE ADJACENT TO EACH OTHER WITH ONE AREA HAVING ONE OF ITS DIMENSIONS AT THE FOUNDATION. THE AREA AGAINST THE FOUNDATION (FOR CRANE) SHALL BE REASONABLY LEVEL. (SEE TYPICAL LAYOUT DRAWINGS). IF THERE IS ANY QUESTION AS TO THE ARRANGEMENT OF CLEARED AREAS, CONTACT THE SITE INSPECTOR. THE AREAS LISTED ABOVE FOR THE CRANE AND THE TRANSPORTERS SHALL CONSIST OF UNDISTURBED EARTH OR WELL COMPACTED GRAVEL FILL UPON WHICH THE CRANE AND TRANSPORTER MAY TRAVEL AND OPERATE WITHOUT BECOMING BOGGED DOWN AND INOPERATIVE. IF THERE IS A CHANCE OF THIS POSSIBILITY OCCURRING, THE CUSTOMER SHALL HAVE A BULLDOZER OR OTHER SIMILAR EQUIPMENT TO ASSIST ENTERING AND EXITING THE SITE. THIS EQUIPMENT SHOULD ALSO BE AVAILABLE ON THE SITE WHEN THE GRADE FROM THE ROAD TO THE FOUNDATION IN THE CLEARED AREA IS IN EXCESS OF 18 INCHES IN A 18 FOOT RUN.

5. THE SITE SHALL BE REVIEWED THREE(3) TO FOUR(4) DAYS IN ADVANCE OF DELIVERY BY YOUR SALES REPRESENTATIVE WHEN REQUESTED BY BUILDERS.

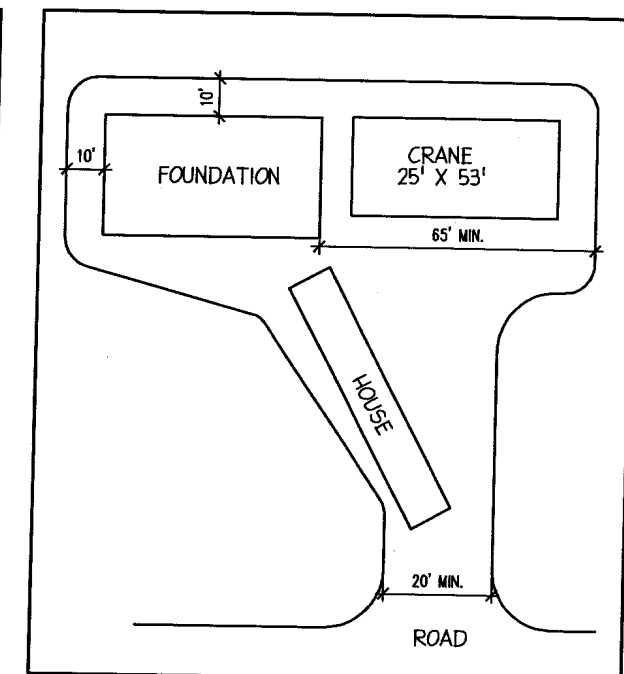
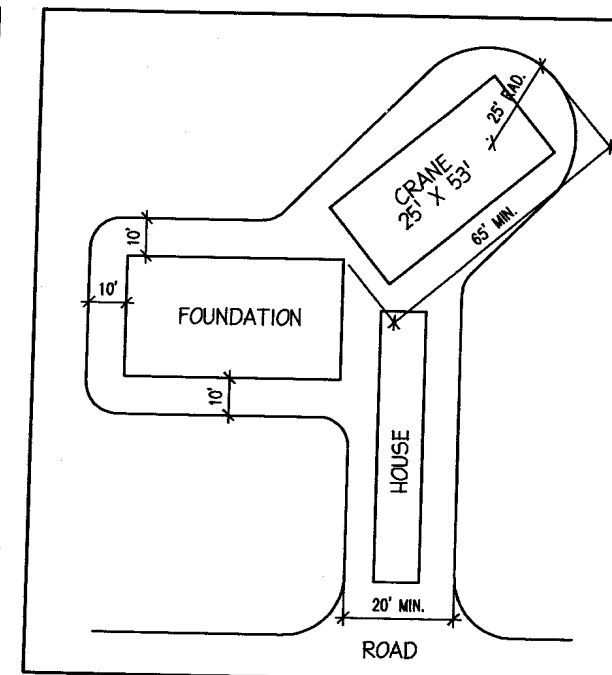
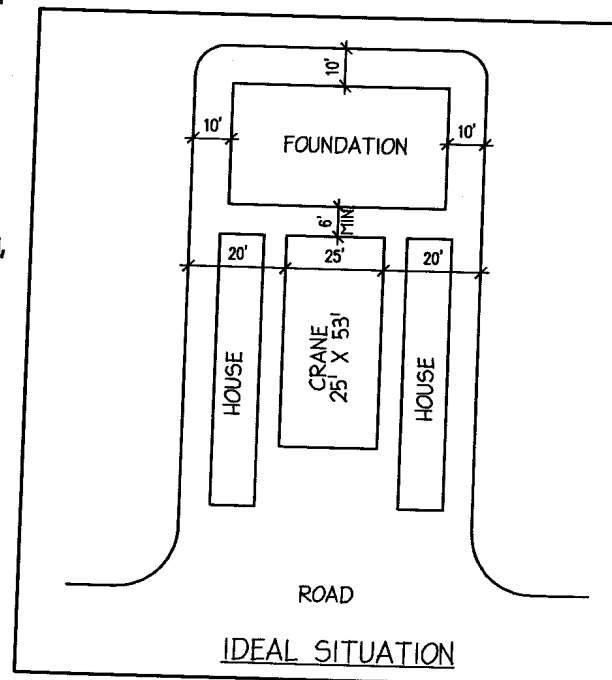
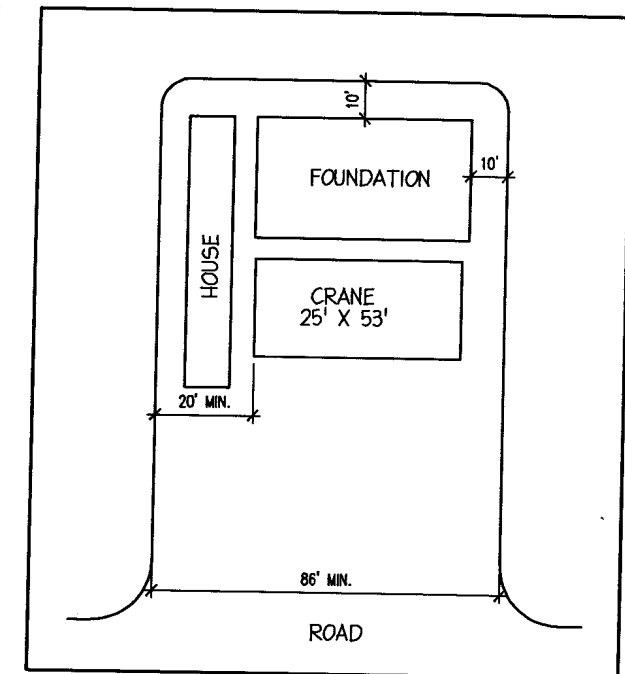
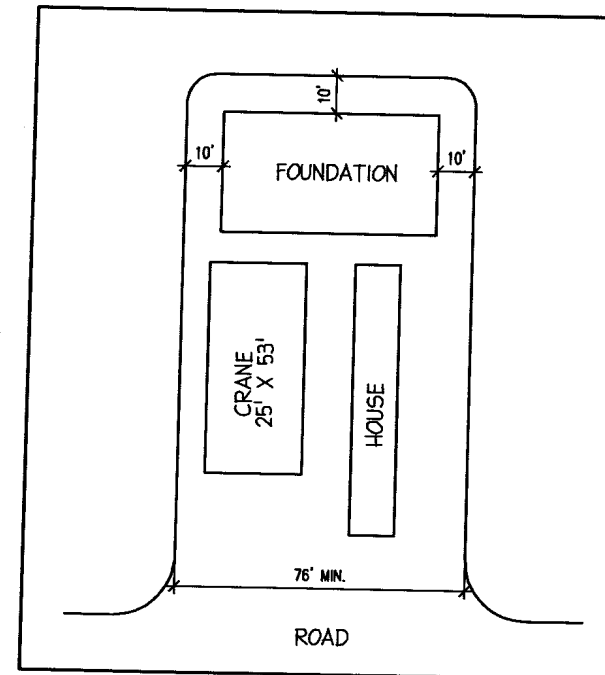
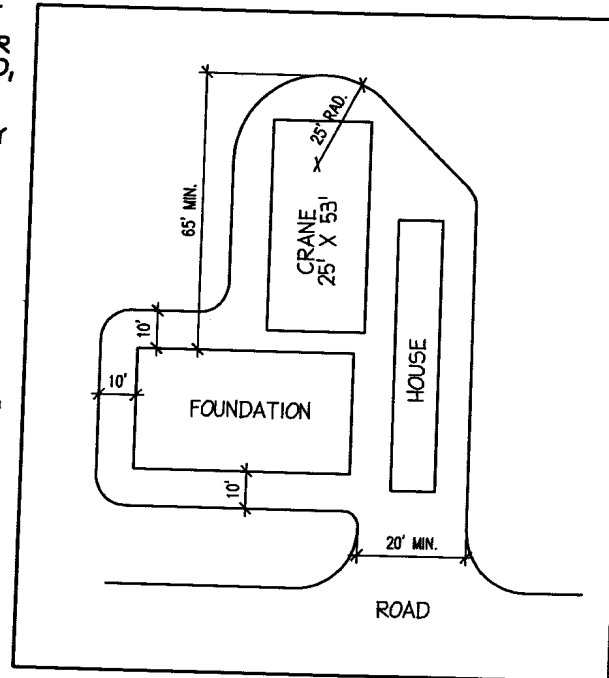
6. THE DEALER IS RESPONSIBLE TO ARRANGE FOR THE TEMPORARY REMOVAL OF ALL OVERHEAD WIRES THAT ARE WITHIN 12'-0" OF WHERE THE CRANE OR HOUSE WILL BE LOCATED FOR SETTING. IF THERE IS A QUESTION AS TO WHETHER OR NOT A WIRE IS GOING TO BE A PROBLEM, PLEASE CONTACT EPOCH'S TRANSPORTATION DEPARTMENT. ANY COST INCURRED BY EPOCH DUE TO THE FAILURE OF HAVING WIRES REMOVED SHALL BE CHARGED TO THE DEALER.


7. THE ENTRANCE TO THE SITE FROM THE ROAD SHALL BE A MINIMUM OF 20'-0" WIDE AND CONSIST OF UNDISTURBED EARTH OR WELL COMPACTED GRAVEL FILL. THE ENTRY AT THE ROAD ITSELF SHALL HAVE A RADIUS CLEARED OF BOULDERS AND TREES AND CONSIST OF SOIL AND FILL AS PREVIOUSLY DESCRIBED. THE RADIUS SHALL COMPLY WITH THE FOLLOWING:

PAVED ROAD OVER 40'-0" WIDE USE A MIN. 6'-0" R.
PAVED ROAD 30' - 40' WIDE USE A MIN. 10'-0" R.
PAVED ROAD 24' - 30' WIDE USE A MIN. 20'-0" R.
PAVED ROAD UNDER 24' WIDE USE A MIN. 30'-0" R.

8. THE DEALER IS RESPONSIBLE TO PROVIDE EPOCH HOMES WITH ACCURATE DIRECTIONS TO THE SITE. THE DIRECTIONS MUST BE COMPLETE WITH STREET NAMES, DISTANCES, AND ANY LANDMARKS THAT WILL HELP FIND THE SITE. PLEASE NOTE ANY POSSIBLE TROUBLE AREAS SUCH AS ROAD CONSTRUCTION, BRIDGES WITH WEIGHT RESTRICTIONS, UNMARKED ROADS, ETC.

9. ALL OF THE ABOVE REQUIREMENTS MUST BE MET OR THE CUSTOMER IS SUBJECT TO ADDITIONAL CHARGES.



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		<p>SITE PREP FOR ALL HOUSES</p>	<p>SP-1</p>
<p>DRAWN BY: JSA DATE: 5/28/02 SCALE: N.T.S.</p>			