

Wall Types

Exterior walls 2x6 wood stud
Interior walls 2x4 wood stud, unless noted otherwise

Wall Keys

- ② 2x wood studs on the flat
 - ③ 2x3 wood stud wall, 16" oc
 - ⑥ 2x6 wood stud wall, 16" oc
- Note: 2x4 wood stud wall, 16" oc unless otherwise noted

Key Notes

- A** 30" x 22" Minimum Attic Access
Panel - Insulated (R0 34" x 28")
- F** Field locale for plumbing or mechanical
- V** Verify size of fixture or appliance
Adjust dimensions to accommodate
- S** Snug - Door or window trim will be snug
and may need to be cut down
- C** Center - Place door or window centered
on wall
- D** Double Stud or structural mull - adapt to
suit chosen window brand.
Object is to have some "bite" for curtain
hardware and exterior aesthetics.
- SD** Smoke Detector
- CO** Carbon Monoxide Detector

Dimensions

Dimensions are to face of stud, unless noted otherwise.
Closets are 24" clear inside, unless dimensioned otherwise.

Square Footages

1. Sq ft numbers are interior to room for use in calculating
finishes.
2. Cabinets and fixtures not subtracted.
3. Add for doorways when floor finishes run through.

Notes

1 - Exterior walls 2x6 wood stud @ 16" oc. Provide
insulation & vapor barrier conforming to state or local codes.
Interior sheathing 1/2" gypsum board. Provide 1/2" exterior
rated sheathing, house wrap with drainage plane and siding.
Provide seal flashing at walls adjacent to roof planes.

2 - Interior walls 2x4 wood stud @ 16" oc, unless noted
otherwise.

3 - Roof - see structural for rafter sizes. Provide 5/8"
interior rated roof sheathing 15# roofing felt, ice & water
shield at eaves and valleys, aluminum drip edge and
asphalt shingles or metal roofing. Structure not calculated
to support slate or tile. Flash all penetrations. Provide
cricket at any added chimneys.

4 - Provide roof and/or ceiling insulation per code. Provide
soffit and ridge vents where required for insulation strategy.
(Verify with code officer - closed cell spray foam or dense
pack cellulose installed at rafters and filling ridge and eaves
generally contra-indicates venting, batt insulation always
requires venting).

5 - Provide smoke detectors where shown, where required
by code and where required by local authorities.

6 - Provide fire resistive materials where required by code,
including but not limited to, firestopping at penetrations, 1/2"
drywall on walls and 5/8" drywall on ceilings to separate
garage (where garage present in design) from dwelling, and
separation of dwellings (where more than one dwelling
present in design), and protection of flammable insulation
materials.

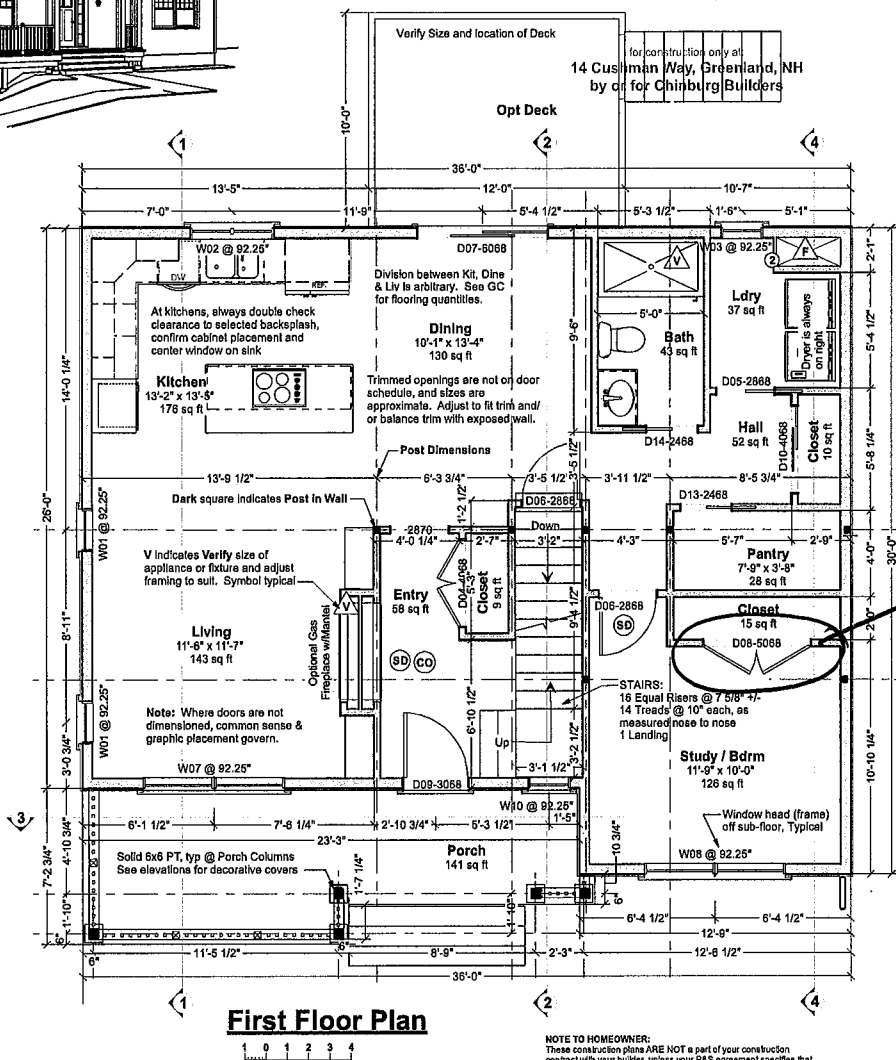
7 - Confirm bottom of window opening relative to frame.
Adjust head heights as required to conform to IRC 2009
R612.2, or provide code approved guards.

8 - Compliance with code requirements for rooms size and
clearances, (hallway widths, room sizes, etc) assume 1/2"
drywall on walls and 1/2" drywall on 3/4" strapping on
ceilings. Adjust as required if materials differ.

9 - Some windows must be installed with a head height
greater or lesser than the standard 80" or 82 1/2" to provide
clearance at kitchen counters, to meet code sill height or to
clear roofs. Where approx 84" head height is called for,
install 2x10 header light to double top plate, frame window
RO tight to header.

10 - Shear is only called out where Continuous Portal Frame
will not suffice. See Section R602.10.4 (Pages 173 - 179) of
the IRC 2009.

Tulaberry Nugget Prime

**Dear Code Officer,**

These are pre-designed home plans, designed to bring good
design and construction drawings to people at more affordable
prices and faster time frames than traditional architecture. Where
traditional "Internet" home plans disclaim all responsibility, we split
responsibility between us (Artform) and the owner. We encourage
the future homeowners to use a quality builder who can assist
them with this. They are responsible for thermal and moisture
decisions and for meeting coding in ways that a quality builder
should know. We are responsible for things that are directly
related to the design and/or that a quality builder couldn't
reasonably figure out on their own - specifically the following IRC
2009 code sections:

- 1 - Room sizes (Section R304)
- 2 - Ceiling Height (Section R305)
- 3 - Floor space & ceiling height at Toilet, Bath and Shower Spaces
(Section R307)
- 4 - Hallway widths (Section R311.6)
- 5 - Door types & sizes (Section R311.2)
- 6 - Floor space in front of doors (Section R311.3)
- 7 - Stair width - The stairs in our designs will be a minimum of 36"
wide measured wall surface to wall surface, allowing compliance
with R311.7.1 with installation of correct handrail.
- 8 - Stairway headroom (Section R311.7.2)
- 9 - Stair treads and risers (Section R311.7.4)
- 10 - Landings for stairways (Section R311.7.5)
- 11 - Emergency Escape Window Sizes (Section R310.1.1,
R310.1.2, R310.1.3 and R310.1.4). Casement windows may
require manufacturer's emergency escape window hardware. Will
also comply with NFPA 101.
- 12 - Structural Floor Framing (Section R602.3) Where dimensional
lumber is shown, framing members will be sized according to this
section of the code. Where engineered wood products are shown,
those framing members will be size according to the
manufacturer's tables for loads and spans, or sizes will have been
calculating using manufacturer's published materials properties.
- 13 - See structural sheets for additional notes.

The builder can and should add information to this set, such as
Rescheck, a hand markup of our generic thermal and moisture
section, additional information about doors and windows (such as
fire rating, tempering, etc), foundation drops relative to site
grading, and sometimes their chosen method of basement egress.
These drawings are not intended to be used without that additional
information.

Where a construction address is shown on the drawings, it is for
copyright control only. We have not inspected the site, adapted
the design to state specific laws (except where it says so in the
drawings) or state or region specific climate conditions.
Homeowner and/or Builder shall be responsible for thermal and
moisture control strategies, materials choices and compliance with
applicable laws and ordinances.

Please do feel free to call us with any questions. We can and do
update our drawings and standard notes to address specific
concerns, especially in jurisdictions where our clients will be
building again.

Dear Everybody,

With these drawings a copyright license is granted for a single
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License to Modify, except as required to conform to building code or
filler build/owner responsibilities.

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- All activities associated with construction at the listed address.
- Pricing or preliminary discussions with zoning or code officials for
construction at other addresses, with prior notification to Artform
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Not Permitted:

- Application for any permits or other approvals for construction at
properties other than the listed address, including but not limited to
construction, zoning, conservation, or design review.
- Modification of the basic design.

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federal copyright law, punishable by both civil action and criminal
prosecution. It's also stealing or enabling theft, which doesn't
suddenly become less bad just because it's "intellectual property".
Making changes, even significant changes, does not change this.
Under copyright law, that's "derivative works". You still used our
work, and we still spent significant time preparing it, quite possibly
in the wee hours when everybody else was sleeping!

We can provide drawings outside for use in obtaining design or
zoning approvals without incurring the expense of a full set of
construction drawings. Contact us for more information. We
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our work stolen.

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contact us. We are happy to clarify matters that fall within our
scope, as listed on the first page. We can also often provide
affordable support for issues that are your responsibility, such as
energy design/clocks, or additional detailing.

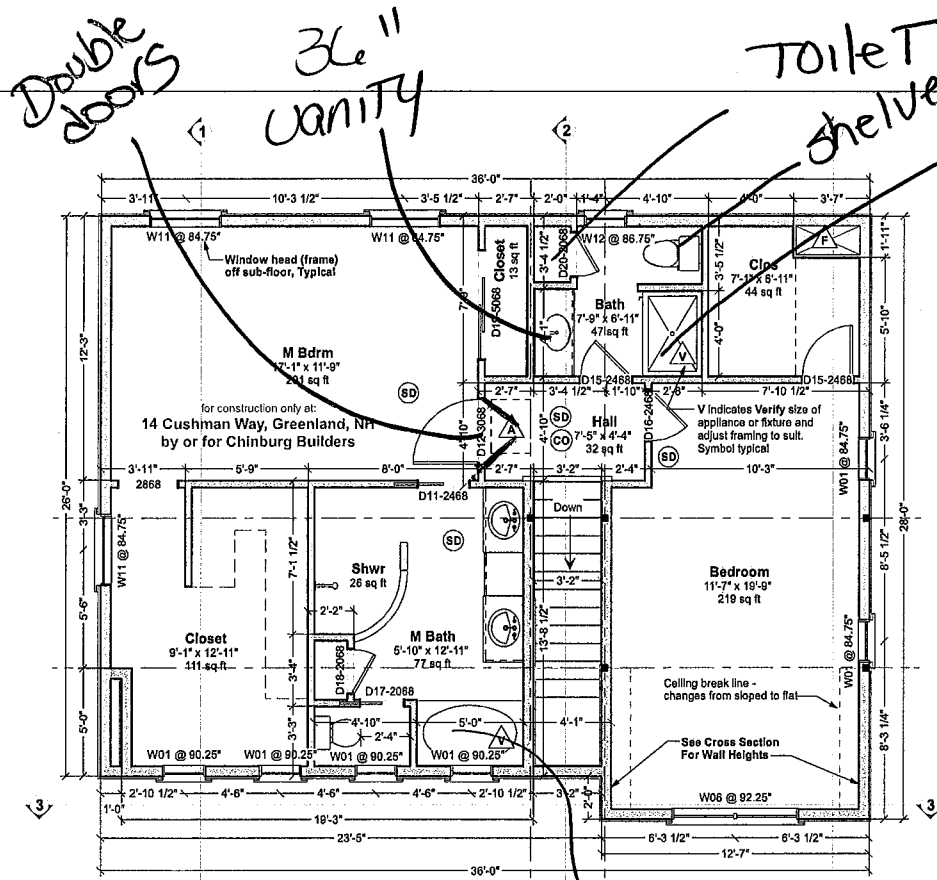
Artform Home Plans

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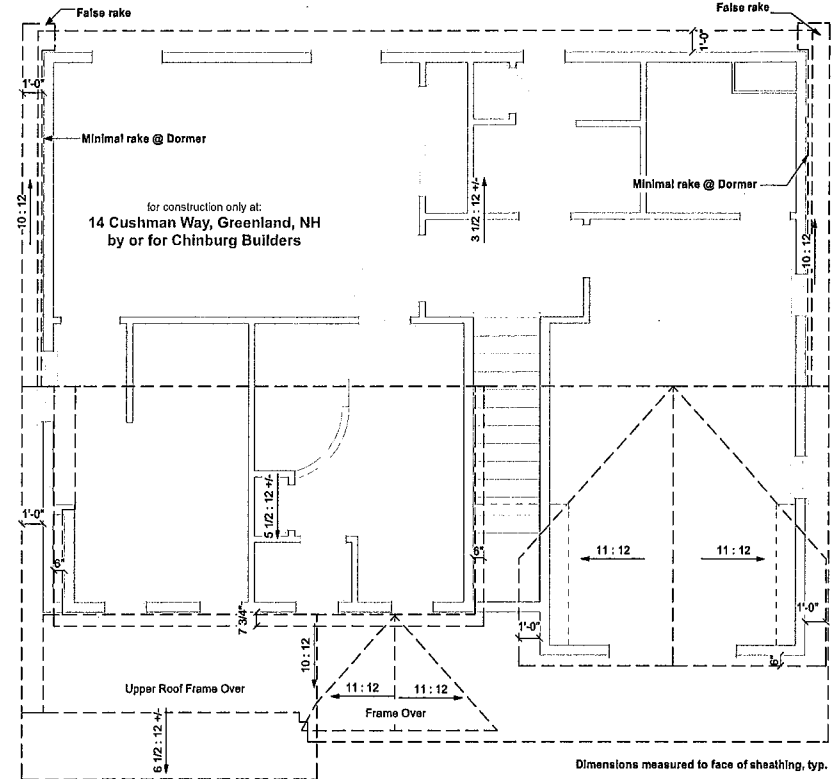
Tulaberry Nugget Prime
14 Cushman Way
Greenland, NH

1/11/2014 unless noted otherwise / Print @ 1:1
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Construction



Second Floor Plan



Roof Plan

REMOVE TUB
- USE NEW DESIGN

DOOR SCHEDULE							
NUMBER	QTY	FLOOR	SIZE	WIDTH	HEIGHT	TYPE	COMMENTS
D01	1	0	2868 LEX	32"	80"	HINGED	
D02	1	0	2868 LIN	32"	80"	HINGED	
D03	2	0	8070	108"	84"	GARAGE	
D04	1	1	4068 L/R IN	48"	80"	DOUBLE HINGED	
D05	1	1	2868 R	32"	80"	POCKET	
D06	2	1	2868 R IN	32"	80"	HINGED	
D07	1	1	6068 LEX	72"	80"	SLIDER	
D08	1	1	6068 L/R IN	60"	80"	DOUBLE HINGED	
D09	1	1	3068 LEX	36"	80"	HINGED	
D10	1	1	4068 R IN	48"	80"	SLIDER	
D11	1	2	2468 R	28"	80"	POCKET	
D12	1	2	3068 L IN	36"	80"	HINGED	
D13	1	2	2468 R	28"	80"	POCKET	
D14	1	1	2468 L	28"	80"	POCKET	
D15	2	2	2468 R IN	28"	80"	HINGED	
D16	1	2	2468 L IN	28"	80"	HINGED	
D17	1	2	2068 R	24"	80"	POCKET	
D18	1	2	2068 R IN	24"	80"	HINGED	
D19	1	2	5068 R IN	60"	80"	SLIDER	
D20	1	2	2068 L IN	24"	80"	HINGED	
D21	1	0	2868 R IN	32"	80"	HINGED	OPTIONAL
D22	1	0	2868 L IN	32"	80"	HINGED	OPTIONAL

WINDOW SCHEDULE							
NUMBER	QTY	WIDTH	HEIGHT	I/O	EGRESS	TEMPERED	DESCRIPTION
W01	8	23 1/2"	23 1/2"	24"x24"			AWNING
W02	1	47"	47 1/2"	47 1/2"x48"			DBL CASEMENT-LH/RH
W03	1	23 1/2"	47 1/2"	24"x48"			DOUBLE HUNG
W04	1	35 1/2"	36 1/2"	36"x36"	YES		SNGL CASEMENT-HR
W05	1	71 1/2"	48"	72"x48 1/2"	YES		DBL CASEMENT-LH/RH
W07	1	79 1/2"	59 1/2"	80"x60"			2X DH
W08	1	79 1/2"	59 1/2"	80"x60"	YES		2X DH
W10	1	23 1/2"	23 1/2"	24"x24"			AWNING
W11	3	39 1/2"	59 1/2"	40"x60"	YES	YES	DOUBLE HUNG
W12	1	23 1/2"	47 1/2"	24"x48"	YES	YES	DOUBLE HUNG

Door & Window Notes

1. Rated Doors: Provide fire rated and/or self-closing doors where required by local codes or local authorities.
2. Trimmed Openings: Trimmed openings not shown on schedule. See Plan.
3. Window Tempering: Provide tempered windows where required by local codes or local authorities. Tempering column provided here for convenience. Windows have not been reviewed for tempering requirements.
4. Window RO's: 1/4" or 1/2" on each of 4 sides allowed for window RO's, typical. Review framing size vs RO size. Adjust per manufacturer's requirements and/or builder preference.
5. Egress Windows: Provide minimum one door or window meeting egress requirements in basement, in each sleeping room, in each potential sleeping room, and other locations required by local code, in sizes required by local code. Note that casement windows coded by manufacturer as meeting IRC 2006 egress requirements typically need to be ordered with specific hardware. Emergency Escape Window Sizes (Section R310.1.1, R310.1.2, R310.1.3 and R310.1.4). Will also comply with NFPA 101.
6. Basement Windows: Add basement windows as required to meet state or local code requirements, including but not limited to egress and light/ventilation.
7. Skylights: Skylights are not shown on this schedule, but may be required. Consult builder and/or see floor plan.
8. Minimum window sill height: IRC 2006 and later requires that upper floor window sills be 24" from floor. Where 60" high windows are used, install with window heads @ 84 1/2" or more.

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Artform Home Plans

AFHP Design # 553.120.v4 SR
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Tulberry Nugget Prime
14 Cushman Way
Greenland, NH

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Issued for:
Construction

