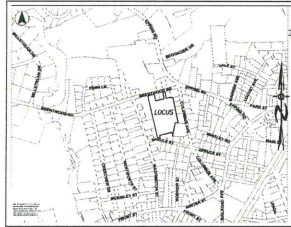


Streetscape Bramble Meadows

gray vinyl fence



LOCATION MAP



UNDERGROUND FACILITIES, UTILITIES:
1-888-DIG-SAFE (1-888-344-7233)
AND EXETER DPW (603) 773-6157

KEY TO SOIL TYPES

HIGH INTENSITY SOIL SURVEYS UTILIZE A FIVE-PART CLASSIFICATION TO IDENTIFY SOIL TYPES. SYMBOLS A-E READ FROM LEFT TO RIGHT IN THE CLASSIFICATION.

SYMBOL A: DRAINAGE CLASS
1- EXCESSIVELY DRAINED
2- WELL DRAINED
3- MODERATELY WELL DRAINED
4- SOMEWHAT POORLY DRAINED
5- POORLY DRAINED
6- VERY POORLY DRAINED

SYMBOL B: PARENT MATERIAL
1- GLACIOFLUVIAL DEPOSITS (OUTWASH/TERRACES)
2- GLACIAL TILL
3- VERY FINE SAND AND SILT DEPOSITS
4- LOAMY/SANDY OVER SILT/CLAY DEPOSITS
5- SILT AND CLAY DEPOSITS
6- EXCAVATED, REPAIRED, OR FILLED
7- ALLUVIAL DEPOSITS
8- ORGANIC MATERIALS - FRESHWATER
9- ORGANIC MATERIALS - TIDAL MARSH

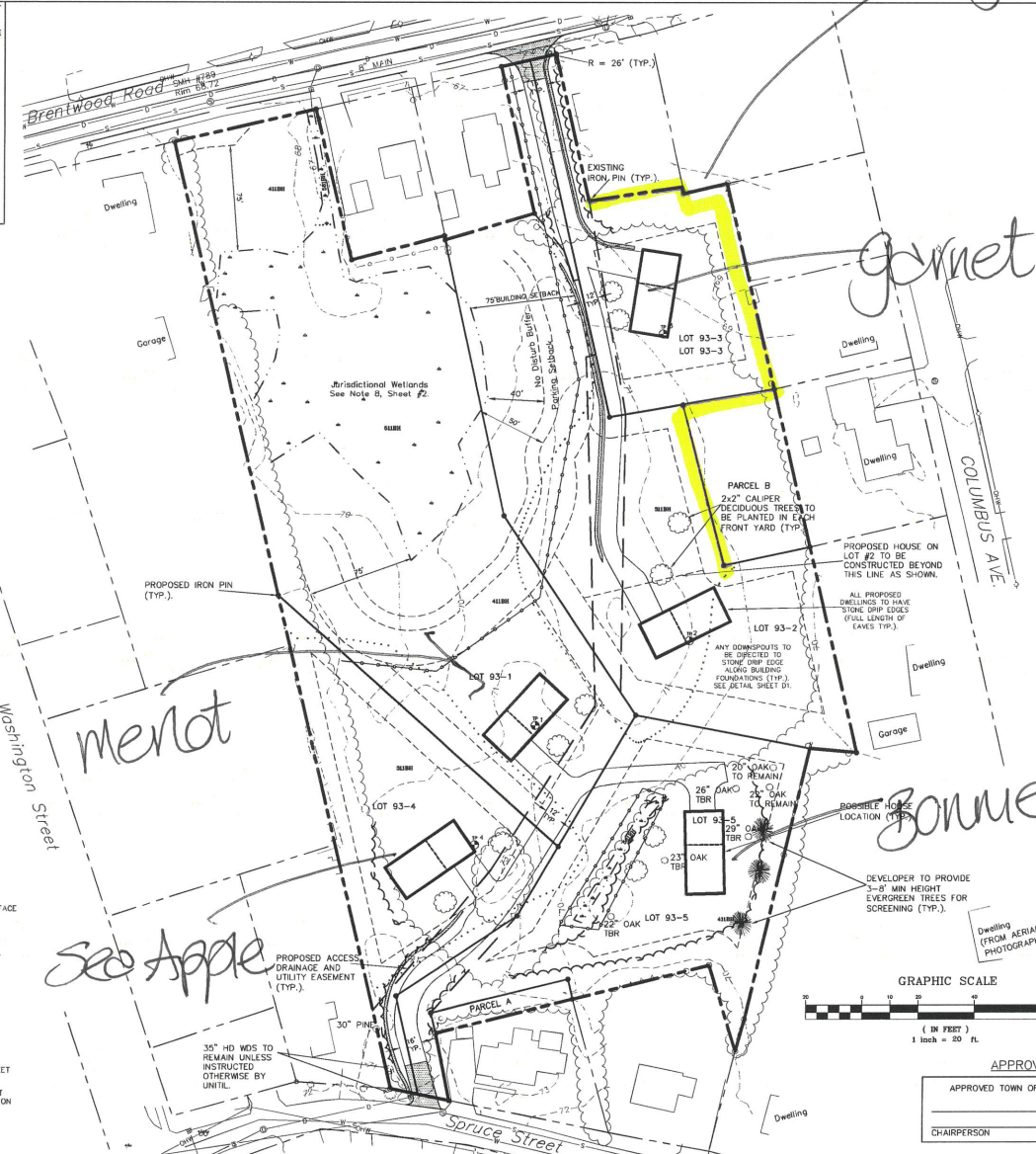
SYMBOL C: RESTRICTIVE FEATURES
1- NONE
2- BOILERD
3- MINERAL RESTRICTIVE LAYER WITHIN 40 INCHES OF SOIL SURFACE
4- BEDROCK PRESENT WITHIN 20 INCHES OF SOIL SURFACE
5- SUBJECT TO FLOODING (FLOODPLAIN)
6- DOES NOT MEET FILL STANDARDS (SEE PUBLICATION)
7- BEDROCK PRESENT 20-40 INCHES BELOW SOIL SURFACE
8- BEDROCK DEPTH VARIABLE (GENERALLY WITHIN 40 INCHES OF SOIL SURFACE)

SYMBOL D: SLOPE CLASS
B- 0% TO 8%
C- 8% TO 15%
D- 15% TO 25%
E- 25% TO 35%
F- 35%+

SYMBOL E: HIGH INTENSITY SOIL MAP IDENTIFIER
H- MAP MEETS HIGH INTENSITY SOIL MAPPING STANDARDS
P- MAP IS FOR PRELIMINARY PLANNING ONLY AND DOES NOT MEET STANDARDS

THIS SOIL MAP WAS PREPARED BY A PROFESSIONAL SOIL SCIENTIST AND MEETS THE TECHNICAL STANDARDS OF THE SOIL MAP PUBLICATION NO. 1, HIGH INTENSITY SOIL MAPS FOR NH, DECEMBER 2017.

SOIL MAPPING WAS PERFORMED BY JAMES GOVE, CSS # 004 R1 AUGUST, 2019.



ZONING REQUIREMENTS:
ZONING DISTRICT - RES-2 (R2)
MINIMUM LOT SIZE - 10,000 S.F.
MINIMUM LOT WIDTH - 100 FT.
MINIMUM LOT DEPTH - 100 FT.
MINIMUM FRONTAGE - 100 FT.
BUILDING SETBACKS:
FRONT - 25 FT.
REAR - 25 FT.
BUILDING HEIGHT - 35 FT.
MAXIMUM BUILDING COVERAGE - 25%
WETLAND SETBACKS:
NO-DISTURBANCE - 40'
PARKING SETBACK - 50'
BUILDING SETBACK - 75'

PREPARED FOR:

HARBOR STREET LIMITED
PARTNERSHIP
7B EMERY LANE
STRATHAM N.H. 03885

BEALS ASSOCIATES PLLC
70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
PHONE: 603-583-4860, FAX: 603-583-4863

NOTES

- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN LOCATED FROM FIELD OBSERVATIONS AND THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. BEALS ASSOCIATES OR ANY OF THEIR EMPLOYEES HAVE NO RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND UTILITIES OR STRUCTURES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 1-888-DIG-SAFE, AND TOWN OF EXETER DPW.
- THIS PLAN HAS BEEN PREPARED FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL BEFORE THE EXISTING IMMEDIATELY OF ANY FIELD OBSERVATIONS FROM DATA AS SHOWN ON THE DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECONSTRUCTION. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
- ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
- Parcels are not located in a Flood Hazard Zone A as depicted on Flood Insurance Rate Map No. 33025C0402C, Rockingham County, NH, (NH Jurisdiction), Effective Date: May 17, 2005.
- PROJECT IS BASED ON USGS DATUM NAVD 1988.
- THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
- ALL CONSTRUCTION SHALL CONFORM TO TOWN OF EXETER STANDARDS AND REGULATIONS.
- ALL WATER, SEWER, ROAD, AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.3 GRADING, DRAINAGE, AND EROSION AND SEDIMENT CONTROL, AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES IN EXETER NEW HAMPSHIRE. SEE SECTION 9.14 ROADWAYS, ACCESS POINTS, AND FIRE LANES AND SECTION 9.13 PARKING AREAS FOR EXCEPTIONS.
- IN ACCORDANCE WITH SITE PLAN REVIEW & SUBDIVISION REGULATIONS SECTIONS 7.15.10 AND 8.3.1 THE APPLICANT SHALL PROVIDE THE TOWN WITH THREE COPIES OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND ALSO ENSURE THAT ONE COPY REMAINS ON SITE.
- DISTURBANCE UNDER 100,000 SQ. FT. (68,000 S.F.) - PROPOSED DISTURBANCE INDEXES ALTERATION OF TERRAIN PERMIT NOT REQUIRED.
- WETLAND BUFFER PLACARDS (4" ROUND) SHALL BE NAILED TO TREES AS AVAILABLE ON SET OR STAKES ALONG WETLAND BUFFER LIMITS AT AN INTERVAL OF APPROXIMATELY 20 FEET. HOUSES WILL BE BUILT OUTSIDE OF THE WETLAND BUFFER.

WETLAND NOTES

THE LIMITS OF JURISDICTIONAL WETLANDS AS SHOWN ON THIS PLAN WERE DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC., IN JUNE OF 2019 IN ACCORDANCE WITH:

- U.S. ARMY CORPS OF ENGINEERS REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND Delineation MANUAL: NORTHEASTERN AND NORTHEAST REGION, TECHNICAL REPORT EROD/EL 18-12-1, JANUARY 2012, VERSION 2.0
- FIELD INDICATORS OF WETLANDS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND Delineating WETLANDS, VERSION 7.0, UNITED STATES DEPARTMENT OF AGRICULTURE (2010)
- NORTH AMERICAN DIGITAL FLOWS - NATIONAL WETLAND PLANT LIST, VERSION 2.2.1 (2009)
- HIGH INTENSITY SOIL MAPPING WAS PERFORMED BY G.E.S. USING THE STANDARDS OF THE SOCIETY OF SOIL SCIENTISTS OF NORTHERN NEW ENGLAND SPECIAL PUBLICATION NUMBER 1, BUILT-TO-STANDARDS, MAPS FOR NEW HAMPSHIRE STANDARDS, APRIL 1994

2019 ZONING ORDINANCE ARTICLE 9, NATURAL RESOURCE PROTECTION
9.1 WETLANDS CONSERVATION DISTRICT
9.1.3 BOUNDARIES
9.2 MAINTENANCE OF WETLANDS INCLUDING BUT NOT LIMITED TO DETENTION PONDS, RETENTION PONDS, AND DRAINAGE SWALES SHALL NOT BE CONSIDERED PART OF THE WETLANDS PROTECTION OVERLAY DISTRICT.

THE AREA OUTLINED ON THE PLAN BY G.E.S. INC. AS A MAJOR DRAINAGE STRUCTURE IS NOT CONSIDERED PART OF THE WETLANDS PROTECTION OVERLAY DISTRICT, AND SHALL NOT HAVE A BUFFER.

ALL SHOW SHALL BE STORED OFF OF PAVEMENT ACCESS WAYS. IN THE EVENT THAT THE AREAS APPROVED FOR SNOW STORAGE BECOME FULL, THE OWNER SHALL REASONABLY REMOVE EXCESS SNOW FROM THE SITE, AND SHALL NOT ALLOW SNOW TO BE STORED WITHIN TRAVEL AISLES.

ALL WASTE MATERIALS AND RECYCLABLE SHALL BE CONTAINED WITHIN THE BUILDINGS OR APPROVED STORAGE FACILITIES AND SHALL NOT BE OTHERWISE STORED ON THE PROPERTY. REFUSE COLLECTION WILL BE BY CURBSIDE PICK-UP.

TOWN NOTES

ALL SHOW SHALL BE STORED OFF OF PAVEMENT ACCESS WAYS. IN THE EVENT THAT THE AREAS APPROVED FOR SNOW STORAGE BECOME FULL, THE OWNER SHALL REASONABLY REMOVE EXCESS SNOW FROM THE SITE, AND SHALL NOT ALLOW SNOW TO BE STORED WITHIN TRAVEL AISLES.

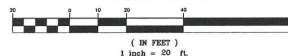
ALL WASTE MATERIALS AND RECYCLABLE SHALL BE CONTAINED WITHIN THE BUILDINGS OR APPROVED STORAGE FACILITIES AND SHALL NOT BE OTHERWISE STORED ON THE PROPERTY. REFUSE COLLECTION WILL BE BY CURBSIDE PICK-UP.

SUBDIVISION SITE PLAN

PLAN FOR:
RESIDENTIAL DEVELOPMENT
BRENTWOOD ROAD
EXETER, NH

DATE: NOV., 2019 SCALE: 1"=40'
PROJ. NO. NH-1213 SHEET NO. 3 OF 6

GRAPHIC SCALE



APPROVAL BLOCK

APPROVED TOWN OF EXETER PLANNING BOARD	
CHAIRPERSON	DATE