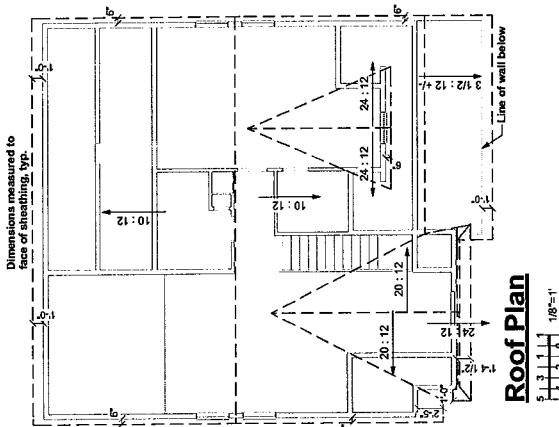


1. **Exited Doors:** Provide fire rated and/or self-closing doors where required by local codes or local authorities
2. **Trimmed Openings:** Trimmed openings not shown on schedule. See Plan.
3. **Window Tempering:** Provide tempered windows where required by local codes or local authorities. Tempering control provided here for convenience. Windows have not been reviewed for tempering requirements.
4. **Window RO's:** 1/4" or 1/2" on each of 4 sides allowed for window RO's. Typical. Review framing size vs Window RO size. Adjust per manufacturer's requirements and/or builder preference.
5. **Egress Windows:** Provide minimum one door or window meeting egress requirements in basement, including minimum one window in each potential sleeping room, and other locations required by local codes or local authorities. Note that egress windows coded by manufacturer as meeting IRC 2006 egress requirements typically need to be ordered with specific hardware. Emergency Escape Window Sizes (Section R310.1.1, R310.1.2, R310.1.3 and R310.1.4). Will also comply with NFPA 101.
6. **Basement Windows:** Add basement windows as required to meet state or local code requirements, including but not limited to egress and light/ventilation.
7. **Skylights:** Skylights are not shown on this schedule, but may be required. Consult builder and/or see floor plan.
8. **Minimum window sill height:** IRC 2006 and local requires that upper floor window sills be 24" from floor to bottom of window. Minimum window sill height for basement windows shall be 60" above finished floor.



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© 2013 Wendy Wilson 603.431.3659	 2	Issued For: Construction
Lot #3 Lorden Commons Londonderry, NH 14" x 11" unless noted otherwise / Print @ 11" PDF created on: 6/11/2014, drawn by ACJ R1: 6.11.2014 - Ceiling Height & Minor Interior Changes		

Foundation Contractor Check List

Confirmed or reviewed the following prior to forming & pouring foundation	Initials Date Checked
Confirmed soil bearing	
Confirmed w/GC for added foundation steps to suit grade	
Confirmed sill plate thickness (foundation bolts to extend through all)	
Confirmed garage door size	
Checked w/GC for added basement windows	
Checked w/GC for added basement main doors	
Confirmed sizes & locations of mechanical penetrations	
Confirmed sizes and locations of beams w/GC, added or adjusted beam pockets	
Confirmed location and installed electrical service grounding - See GC for location	

- TYPICAL PERIMETER FOUNDATION WALL:**
- 8" poured concrete, 8 ft forms, min 7'-10" finished, with total of 3 rebar, 4" from top:
 - (1) #4 rebar @ vertical midpoint. Onto this rebar at walls 4" from top.
 - (1) #4 rebar, min 3" from bottom or per code
 - Lap corners & splices of rebar per code.
 - Secure all to foundation with 1/2" diameter anchor bolts that extend 7" into concrete and tightened with a nut and washer @ 6" oc & max 12" from each corner & east and @ 12" from each end of wall. All bolts must extend through all sill plates or straps must secure all plates.

TYPICAL PERIMETER FOOTING:

- Verify that depth of home materials chart. Depth is 12" for 8" concrete, 18" for 10" concrete, 24" for 12" concrete. Home Plans if you believe the chart does not match the plan.
- Select column for snow load shown on the structural plans.
- Select soil bearing pressure based on soil type and/or plan.
- The required footing size is at the intersection of the Snow Load and Soil PSI. Rebar is not required. Key or pin foundation wall to footing per code. For the purposes of this plan, the soil bearing for New England is assumed to be 2,000 PSF.
- FAQ - Adding rebar to footings does not reduce the required width. Rebar affects performance with earth movement, like an earthquake and has near zero effect on bearing capacity.

Guide to Soil PSI

- 3,000 Sandy gravel and/or gravel (SW and GP)
- 2,000 Clayey sand, silty sand, silty clay, silty clay and silty clay (SC, SM, SS, CL, ML, MH and CH)
- 1,500 Clay, sandy clay, silty clay, clayey silt, silt and sandy silt (CL, ML, MH and CH)

Footing Size	8 ft nominal basement height	Full foundation wall	Snow Load
Soil	3,000, 16" x 8", 16" x 8", 16" x 8", 16" x 8"	70, 80, 80, 80	70, 80, 80, 80
PSI	2,000, 18" x 8", 18" x 8", 18" x 8", 18" x 8"	207 x 8", 207 x 8", 207 x 8", 207 x 8"	207 x 8", 207 x 8", 207 x 8", 207 x 8"
PSI	1,500, 22" x 8", 22" x 8", 22" x 8", 22" x 8"	247 x 8", 247 x 8", 247 x 8", 247 x 8"	247 x 8", 247 x 8", 247 x 8", 247 x 8"

Footing Size	35-36 ft plan depth	Full foundation wall	Snow Load
Soil	3,000, 16" x 8", 16" x 8", 16" x 8", 16" x 8"	70, 80, 80, 80	70, 80, 80, 80
PSI	2,000, 18" x 8", 18" x 8", 18" x 8", 18" x 8"	207 x 8", 207 x 8", 207 x 8", 207 x 8"	207 x 8", 207 x 8", 207 x 8", 207 x 8"
PSI	1,500, 22" x 8", 22" x 8", 22" x 8", 22" x 8"	247 x 8", 247 x 8", 247 x 8", 247 x 8"	247 x 8", 247 x 8", 247 x 8", 247 x 8"

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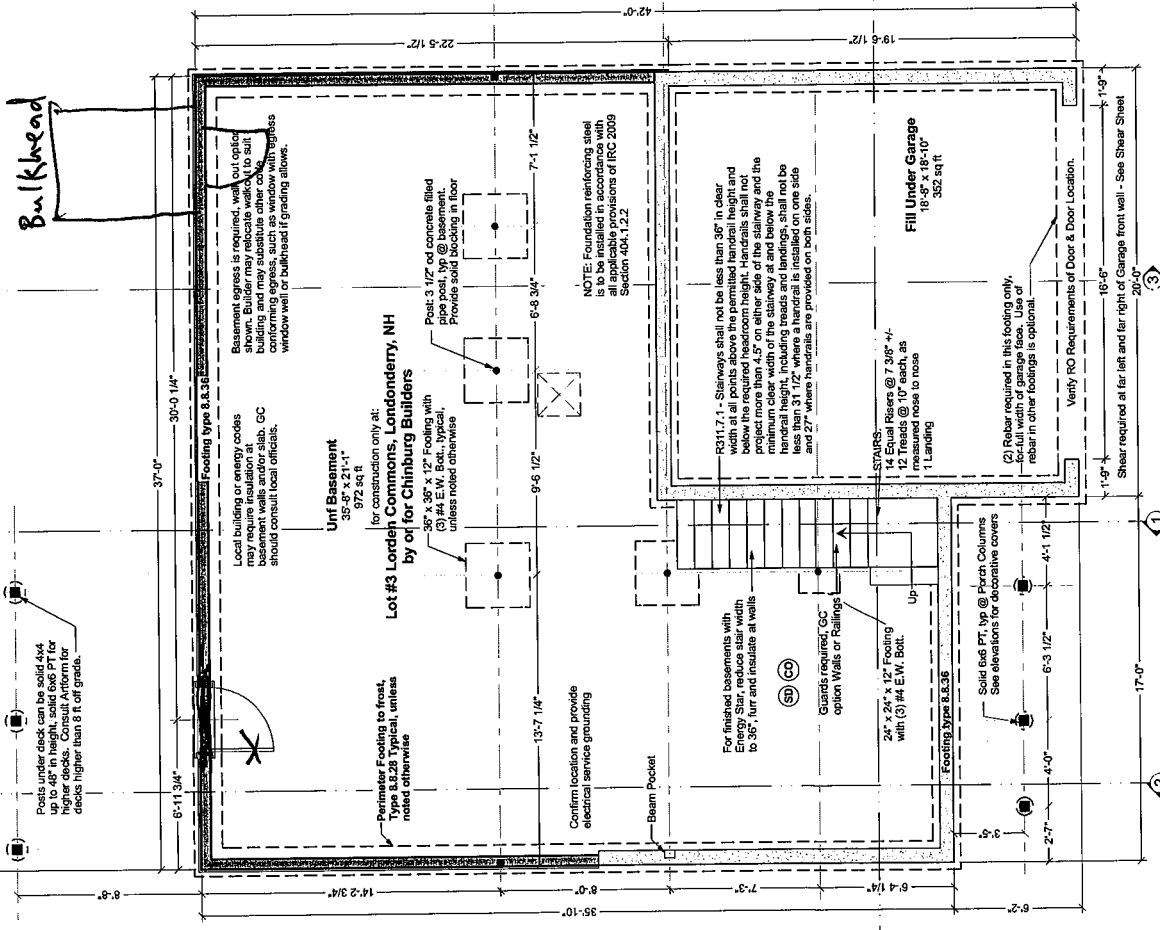


Artform Home Plans
 100 Main Street # 307, 126 St.
 Shelton, CT 06484-1266
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Lot #3 Londen Commons
 Londonderry, NH
 03051-1266
 Construction

3

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Foundation Plan

Structure designed for
Snow Load of 65 PSF

Structural General Notes:

- Builder shall consult and follow the building code and other regulations in effect for the building site for all construction details not shown in these drawings. Requirements described here are specific to this design and/or are provided as reference. Additional building code or local requirements may apply.
 - Builder shall maintain a safe worksite, including but not limited to, provision of temporary supports where appropriate and adherence to applicable safety standards.
 - Design is based on the snow load listed on the framing plans, 90 mph basic wind speed, Exposure Type B, soil bearing capacity of 2000 psf, and Seismic Category C, unless otherwise noted on the framing plans. Builder shall promptly inform Artform Home Plans of differing conditions.
- ### Foundations
- No footing shall be poured on loose or unsuitable soils, in water or on frozen ground.
 - All exterior footings to conform to all applicable code requirements for frost protection.
 - All concrete shall have a minimum compressive strength of at least 3000 PSI at 28 days.
 - Foundation anchorage to comply with IRC 2009 Section R403.1.5. It shall consist of minimum size 1/2" diameter anchor bolts, spaced at 48" oc for more than two stories, max of 12" for two stories, min of 2 bolts per wall. Anchor bolt shall extend 7" into concrete or grouted cells of concrete masonry units. Be aware that a garage under may be counted by IRC 2009 Section R403.1.5. Additional anchorage may be required at braced walls.
- ### Wood Framing
- All structural wood shall be identified by a grade mark or certificate of inspection by a recognized inspection agency.
 - Structural wood shall be Spruce-Pine-Fir (SPF) #2 or better.
 - When used, LVL or PSI, Laminated Veneer Lumber or Parallel Strand Lumber, respectively. Products used shall equal or exceed the strength properties for the size indicated as manufactured by Trus-Joist.
 - When used, ALL indicate wood joists as manufactured by Boise Cascade. Products of alternate manufacturers may be substituted provided they meet or exceed the strength properties for the member specified.
 - All floor joists shall have bridging installed at mid-span or at 8'-0" or maximum.
 - Floor systems are designed for performance with subfloor glued and screwed.
 - At posts, provide solid framing/blocking to supports below. Provide minimum 1 1/2" bearing length for all beams and headers, unless noted otherwise.
 - All wood permanently exposed to the weather, in contact with concrete or in contact with the ground shall meet code requirements for wood in these environments.
 - Deck ledger shall be securely attached to the structure and/or independently supported, including against lateral movement, per building code requirements and best practices. Unless otherwise noted, decks shall have solid 4x4 p posts up to 6 ft above grade, and solid 6x6 for heights above that.
 - Wherever beams are noted as flush framed, install post hangers at all joists, sized appropriately for the members being connected.
 - Support the lower end of roof beams via minimum 2" horizontal bearing on a post, ledger or via an appropriately sized and configured hanger.
 - Where multiple beams are supported on one post, provide min 2" bearing for each, via either appropriately sized post cap or additional posts.
 - Hangers, post caps, ties and other components shall be as specified. The design engineer shall be responsible for connecting the members shown, and shall be installed per manufacturer's instructions.
- ### Pre-fabricated Wood Trusses
- Where trusses are indicated on the drawings, truss design shall be provided by truss manufacturer.
 - Trusses shall be designed in accordance with applicable provisions of the latest edition of the National Design Specification for Wood Construction (NDS), American Forest and Paper Association (AFPA), and Design Specifications for Metal Plate Connected Wood Trusses (MPCWT) (AFPA 1), Truss Plate Institute (TPI) and code of jurisdiction.
 - Manufacturer shall furnish design drawings bearing seal and registration number of a structural engineer licensed in the state where project will be built.



1 x 4 Shadow Board, Typical
1 x 8 Rake, Typical
1 x 8 Frieze Board

3 1/2" Window Trim on double hung windows.

1.5" Corner Boards

for construction only at:

**Lot #3 Lorden Commons, Londonderry, NH
by or for Chlburg Builders**

Window head (frame)

Note - Actual grade level may vary. Where zoning height restrictions apply, builder shall verify conformance. Manual markup of drawings to demonstrate compliance is recommended.

Foundation steps and/or use of cripple walls may vary to suit grade.

Right Elevation

NOTE: See Roof Plan for roof pitches and overhangs

for construction only at:

for construction only at:
Lot #3 Lorden Commons, Londonderry, NH
 by or for Chinburg Builders

VR @ 86.25"

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466
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Posts under deck can be solid 4x4 up to 48" in height, solid 6x6 PT for higher decks. Consult Atform for decks higher than 8 ft off grade.

Rear Elevation

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Shetland Lot #3 Lorden Commons Londonderry, NH 5	Issued for Construction R1-1-A 11/2014 - Ceiling Height & Minor Interior Changes
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