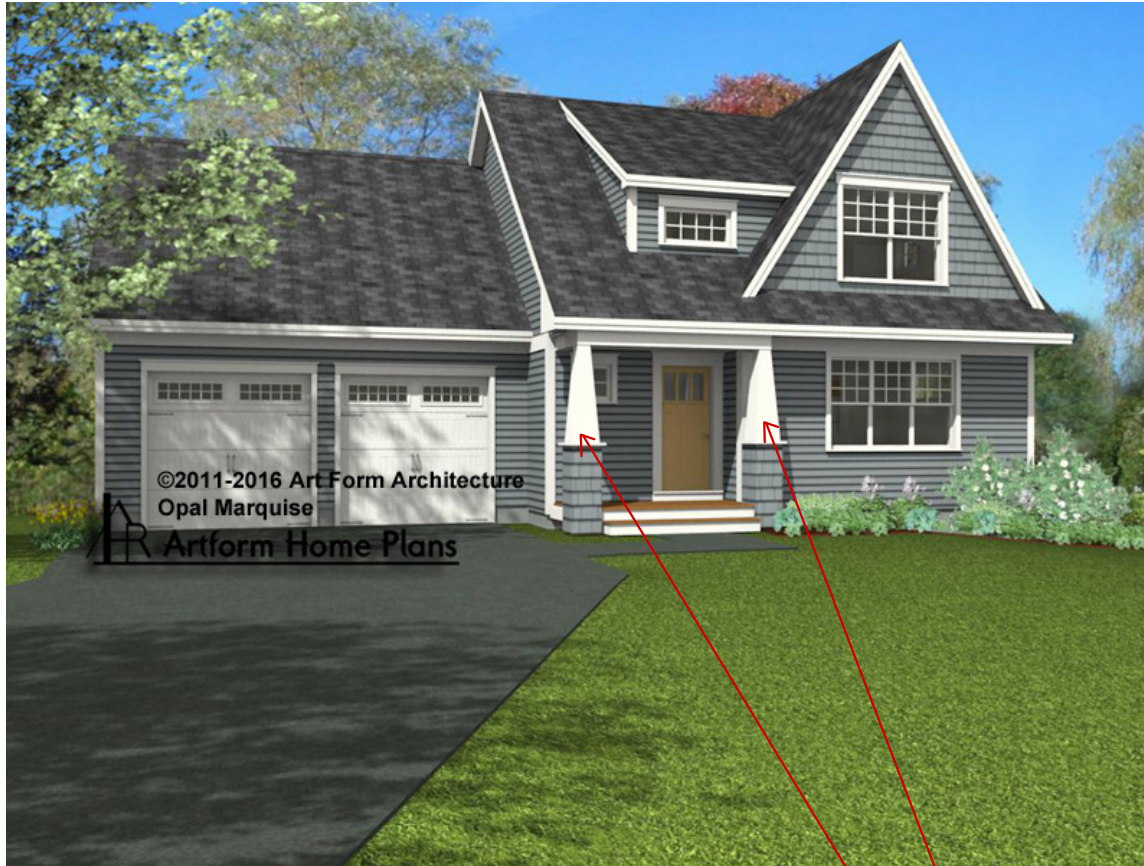


370.124 KR Opal Marquise



	Main	Future	Apt	Main + Future	Main + Apt	All
Living Area	1518 SF	287 SF	0 SF	1805 SF	1518 SF	1805 SF
Bedrooms	3	1	0	4	3	4
Baths	2.5	0.0	0.0	2.5	2.5	2.5

Use of this document is governed by our **Terms and Conditions**, found on our website:
<http://www.artformhomeplans.com/TermsConditions.a5w>

© 2011 Art Form Architecture, Inc. ALL RIGHTS RESERVED.

You may not build this Design without purchasing a License to Build (as defined in our Terms). Unauthorized changes are not permitted and violate copyright laws, which provide substantial penalties for infringement.

Dear Builders and Home Buyers,

In addition to our Terms and Conditions (the "Terms"), please be aware of the following:

This design may not yet have Construction Drawings (as defined in the Terms), and is, therefore, only available as a Design Drawing (as defined in the Terms and together with Construction Drawings, "Drawings"). It is possible that during the conversion of a Design Drawing to a final Construction Drawing, changes may be necessary including, but not limited to, dimensional changes. Please see Plan Data Explained on www.ArtformHomePlans.com to understand room sizes, dimensions and other data provided. We are not responsible for typographical errors.

Artform Home Plans ("Artform") requires that our Drawings be built substantially as designed. Artform will not be obligated by or liable for use of this design with markups as part of any builder agreement. While we attempt to accommodate where possible and reasonable, and where the changes do not denigrate our design, any and all changes to Drawings must be approved in writing by Artform. It is recommended that you have your Drawing updated by Artform prior to attaching any Drawing to any builder agreement. Artform shall not be responsible for the misuse of or unauthorized alterations to any of its Drawings.

Facade Changes:

- To maintain design integrity, we pay particular attention to features on the front facade, including but not limited to door surrounds, window casings, finished porch column sizes, and roof friezes. While we may allow builders to add their own flare to aesthetic elements, we don't allow our designs to be stripped of critical details. Any such alterations require the express written consent of Artform.
- Increasing ceiling heights usually requires adjustments to window sizes and other exterior elements.

Floor plan layout and/or Structural Changes:

- Structural changes always require the express written consent of Artform
- If you wish to move or remove walls or structural elements (such as removal of posts, increases in house size, ceiling height changes, addition of dormers, etc), please do not assume it can be done without other additional changes (even if the builder or lumber yard says you can).

Standard 6' x 6' posts included in build package
price — no decorative shingles on posts.
Tapered columns considered an upgrade.

370.124 KR Opal Marquise



First Floor

	Area	Beds	Baths
Main	764 SF	0	0.5
Future	0 SF	0	0
Apt	0 SF	0	0
Total	764 SF	0	0.5

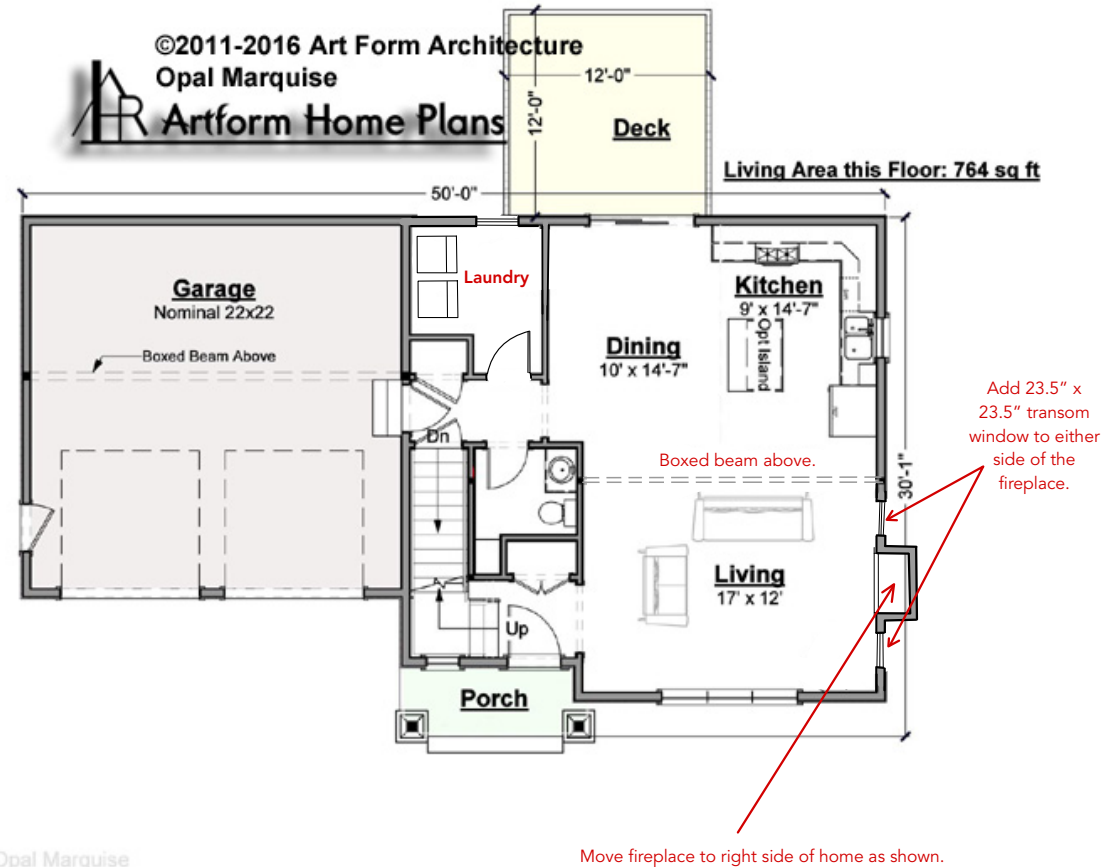
Ceiling Height			
Shown	8'-0"		
Possible *	8'-0"		

* See Major Change information on plan page for cost

Note the following changes to the original plan:

1. Convert Study/Flex space into Laundry Room. Move door to Laundry to mudroom side. (I also moved the window over so that you could put cabinets above the washer/dryer at some point, if you'd like. Laundry Room cabinets not included, but could be done with a portion of your cabinetry allowance.
2. Remove half wall with posts and replace with boxed beam above (no charge).
3. Move optional fireplace to the right side of the home with two square transom windows on either side.

CRS 370.124 KR 994 Opal Marquise



Use of this document is governed by our **Terms and Conditions**, found on our website:
<http://www.artformhomeplans.com/TermsConditions.a5w>

© 2011 Art Form Architecture, Inc. ALL RIGHTS RESERVED.
You may not build this Design without purchasing a License to Build (as defined in our Terms). Unauthorized changes are not permitted and violate copyright laws, which provide substantial penalties for infringement.

Some features show are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.

We are not responsible for typographical errors.

370.124 KR Opal Marquise



Second Floor

	Area	Beds	Baths
Main	754 SF	3	2
Future	287 SF	1	0
Apt	0 SF	0	0
Total	1041 SF	4	2

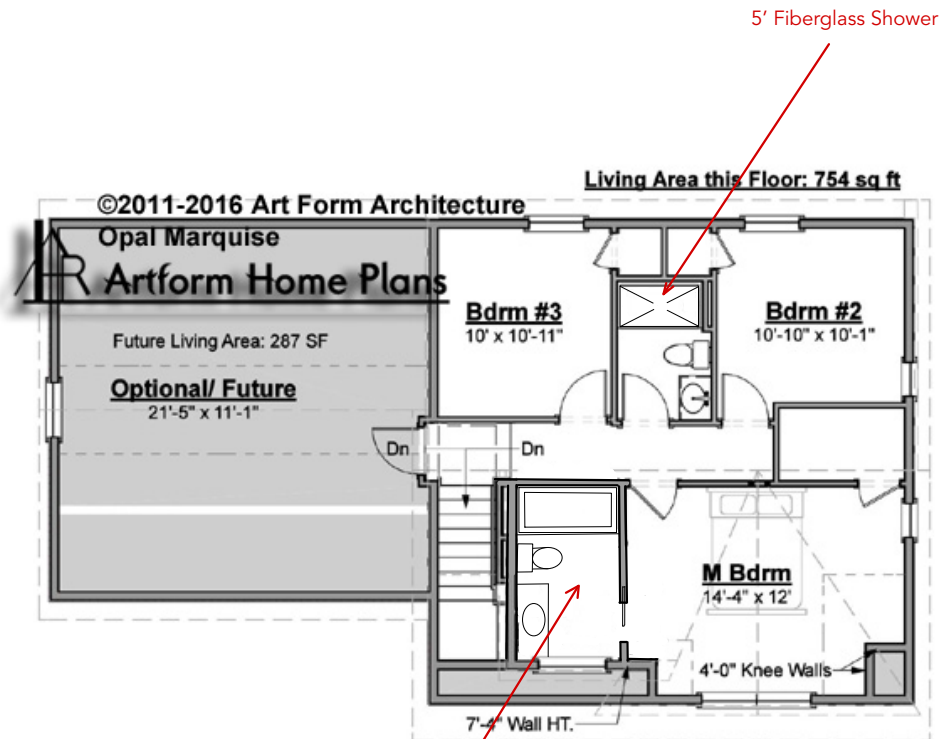
Ceiling Height
Shown 8'-0"
Possible* 9'-0"

* See Major Change information on plan page for cost

Note the following changes to the original plan:

1. Swapped Fiberglass Tub/Shower with 5' Fiberglass Shower in Shared Bath (no charge).
2. Use the former Laundry Closet to increase length of Master Bath. 6' Tub/Shower Upgrade Option shown. 5' Fiberglass Tub/Shower included in Standard Package. Price of 6' Tub/Shower to be determined based on tub/tile selections.

CRS 370.124 KR 994 Opal Marquise



Optional Upgrade: 6' tub insert with tile surround as shown — price to be determined based on tub/tile selections.

Use of this document is governed by our **Terms and Conditions**, found on our website: <http://www.artformhomeplans.com/TermsConditions.a5w>

© 2011 Art Form Architecture, Inc. ALL RIGHTS RESERVED.
You may not build this Design without purchasing a License to Build (as defined in our Terms). Unauthorized changes are not permitted and violate copyright laws, which provide substantial penalties for infringement.

Some features show are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.

We are not responsible for typographical errors.

370.124 KR Opal Marquise



Basement Floor

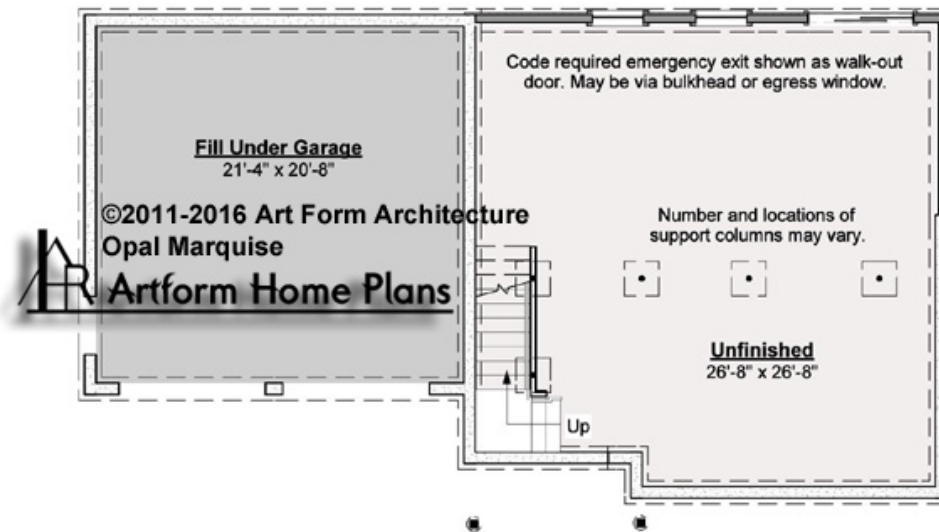
	Area	Beds	Baths
Main	0 SF	0	0
Future	0 SF	0	0
Apt	0 SF	0	0
Total	0 SF	0	0

Ceiling Height

Shown 7'-8"

Possible* 9'-0"

* See Major Change information on plan page for cost



CRS 370.124 KR 994 Opal Marquise

Use of this document is governed by our **Terms and Conditions**, found on our website:
<http://www.artformhomeplans.com/TermsConditions.a5w>

© 2011 Art Form Architecture, Inc. ALL RIGHTS RESERVED.
You may not build this Design without purchasing a License to Build (as defined in our Terms). Unauthorized changes are not permitted and violate copyright laws, which provide substantial penalties for infringement.

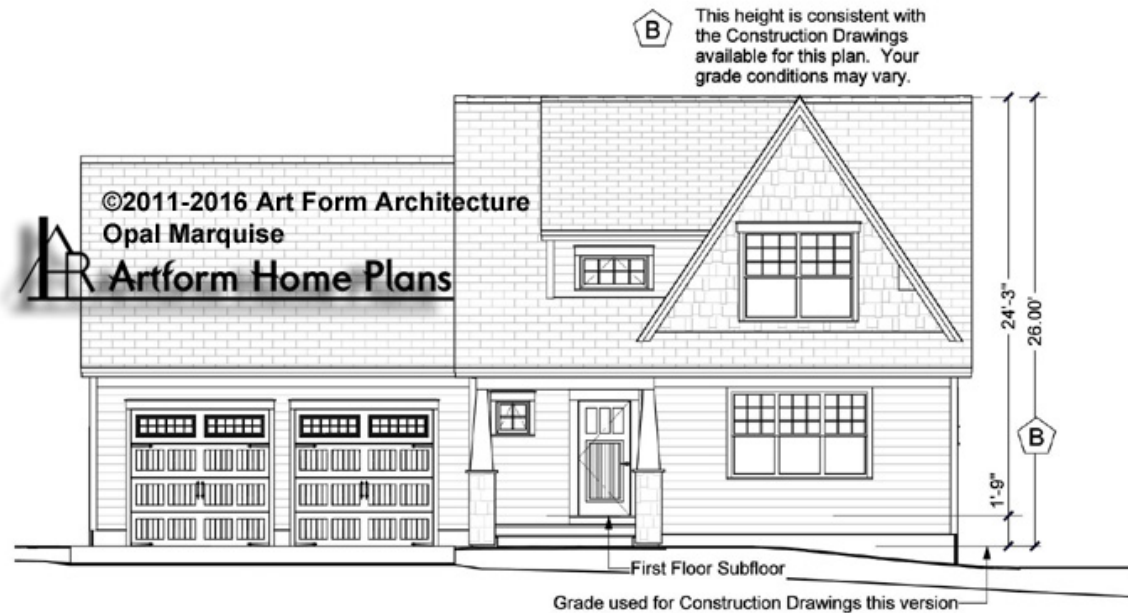
Some features show are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.

We are not responsible for typographical errors.

370.124 KR Opal Marquise



Front Elevation



CRS 370.124 KR 994 Opal Marquise

Use of this document is governed by our **Terms and Conditions**, found on our website:
<http://www.artformhomeplans.com/TermsConditions.a5w>

© 2011 Art Form Architecture, Inc. ALL RIGHTS RESERVED.
You may not build this Design without purchasing a License to Build (as defined in our Terms). Unauthorized changes are not permitted and violate copyright laws, which provide substantial penalties for infringement.

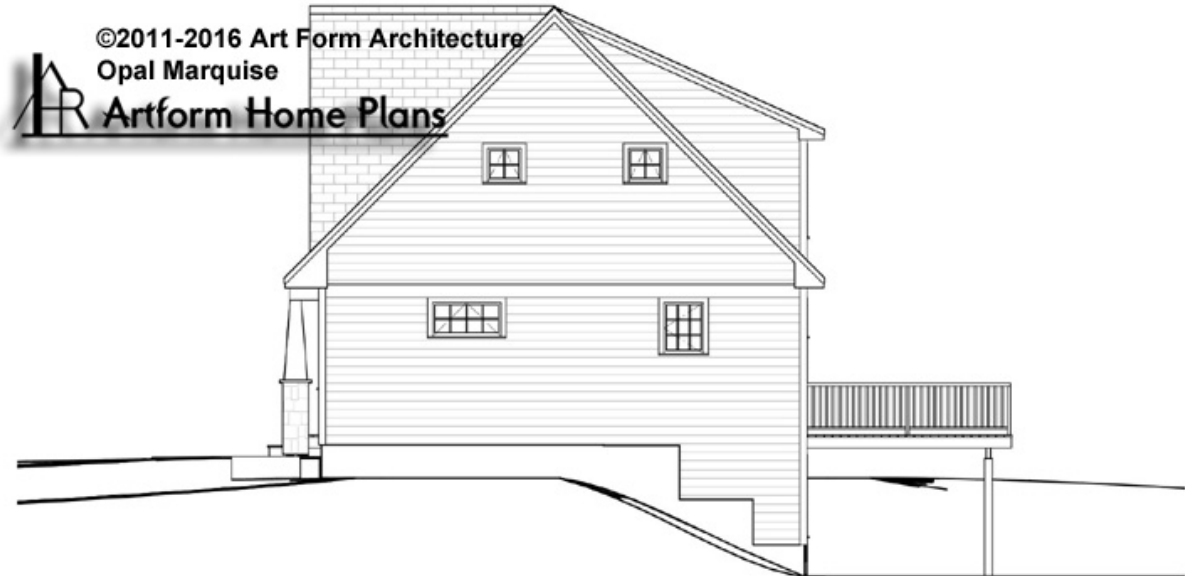
Some features show are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.

We are not responsible for typographical errors.

370.124 KR Opal Marquise



Right Elevation



CRS 370.124 KR 994 Opal Marquise

Use of this document is governed by our **Terms and Conditions**, found on our website:
<http://www.artformhomeplans.com/TermsConditions.a5w>

© 2011 Art Form Architecture, Inc. ALL RIGHTS RESERVED.
You may not build this Design without purchasing a License to Build (as defined in our Terms). Unauthorized changes are not permitted and violate copyright laws, which provide substantial penalties for infringement.

Some features show are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.

We are not responsible for typographical errors.

370.124 KR Opal Marquise



Rear Elevation

D Second floor windows over 8 ft first floors over walkout basements DO qualify as egress without lowering window. If first floor is raised to 9 ft, window will need to be lowered, which triggers other requirements, such as window guards and/or tempering

©2011-2016 Art Form Architecture
Opal Marquise
Artform Home Plans

Standard basement with bulkhead included in base price. Walk/out daylight basement as shown is lot dependent and would add additional costs. Actual cost to be determined based on extent of walk/out daylight basement, number of windows, etc.



CRS 370.124 KR 994 Opal Marquise

Use of this document is governed by our **Terms and Conditions**, found on our website:
<http://www.artformhomeplans.com/TermsConditions.a5w>

© 2011 Art Form Architecture, Inc. ALL RIGHTS RESERVED.
You may not build this Design without purchasing a License to Build (as defined in our Terms). Unauthorized changes are not permitted and violate copyright laws, which provide substantial penalties for infringement.

Some features show are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.

We are not responsible for typographical errors.

370.124 KR Opal Marquise



Left Elevation



CRS 370.124 KR 994 Opal Marquise

Use of this document is governed by our **Terms and Conditions**, found on our website:
<http://www.artformhomeplans.com/TermsConditions.a5w>

© 2011 Art Form Architecture, Inc. ALL RIGHTS RESERVED.
You may not build this Design without purchasing a License to Build (as defined in our Terms). Unauthorized changes are not permitted and violate copyright laws, which provide substantial penalties for infringement.

Some features show are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.

We are not responsible for typographical errors.