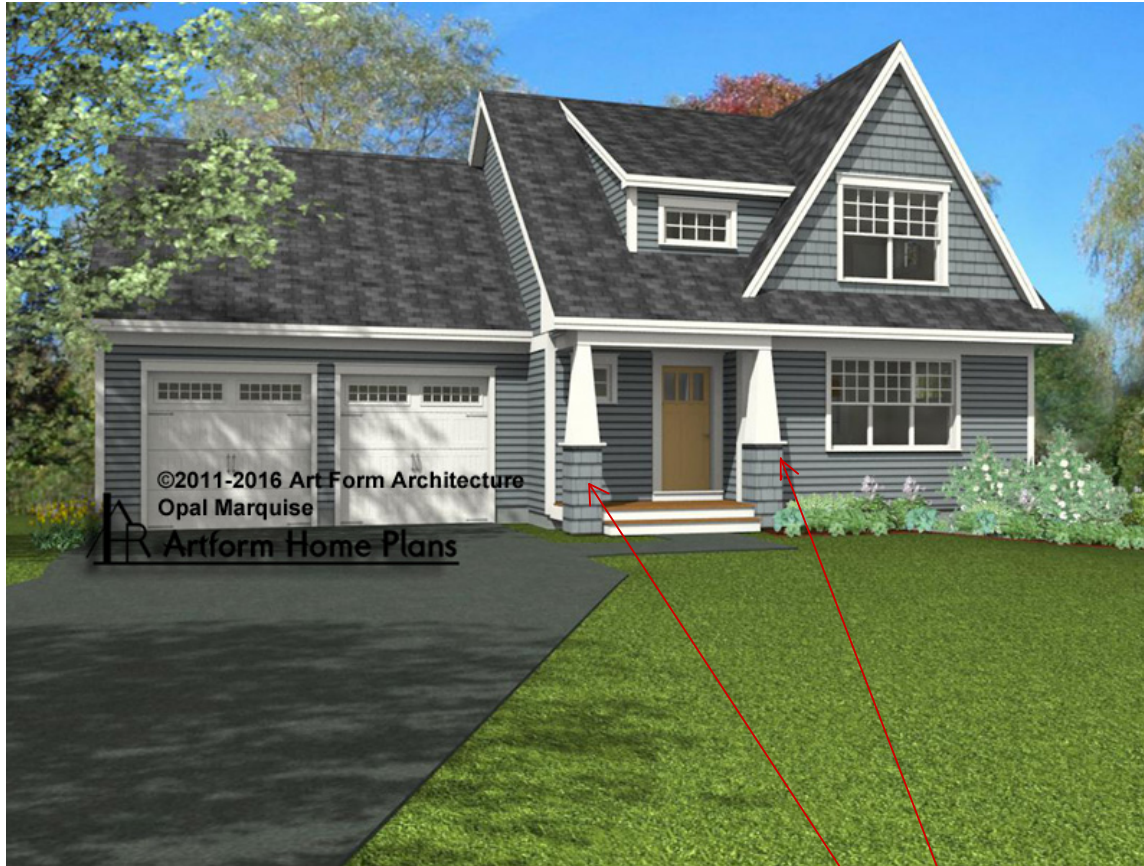


370.124 KR Opal Marquise



	Main	Future	Apt	Main + Future	Main + Apt	All
Living Area	1518 SF	287 SF	0 SF	1805 SF	1518 SF	1805 SF
Bedrooms	3	1	0	4	3	4
Baths	2.5	0.0	0.0	2.5	2.5	2.5

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Dear Builders and Home Buyers,

In addition to our Terms and Conditions (the "Terms"), please be aware of the following:

This design may not yet have Construction Drawings (as defined in the Terms), and is, therefore, only available as a Design Drawing (as defined in the Terms and together with Construction Drawings, "Drawings"). It is possible that during the conversion of a Design Drawing to a final Construction Drawing, changes may be necessary including, but not limited to, dimensional changes. Please see Plan Data Explained on www.ArtformHomePlans.com to understand room sizes, dimensions and other data provided. We are not responsible for typographical errors.

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Facade Changes:

- To maintain design integrity, we pay particular attention to features on the front facade, including but not limited to door surrounds, window casings, finished porch column sizes, and roof friezes. While we may allow builders to add their own flare to aesthetic elements, we don't allow our designs to be stripped of critical details. Any such alterations require the express written consent of Artform.
- Increasing ceiling heights usually requires adjustments to window sizes and other exterior elements.

Floor plan layout and/or Structural Changes:

- Structural changes always require the express written consent of Artform
- If you wish to move or remove walls or structural elements (such as removal of posts, increases in house size, ceiling height changes, addition of dormers, etc), please do not assume it can be done without other additional changes (even if the builder or lumber yard says you can).

Standard 6" x 6" posts included in package price — no decorative shingles on posts.

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First Floor

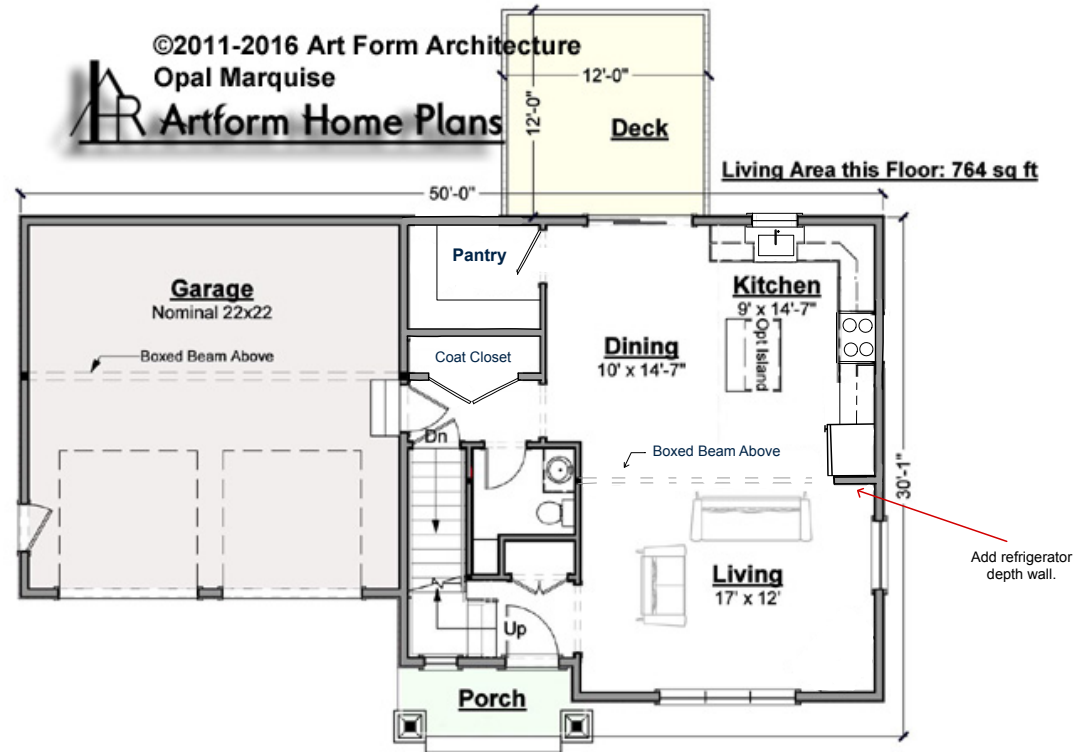
	Area	Beds	Baths
Main	764 SF	0	0.5
Future	0 SF	0	0
Apt	0 SF	0	0
Total	764 SF	0	0.5

Ceiling Height			
Shown	8'-0"		
Possible *	8'-0"		

* See Major Change information on plan page for cost

Note Changes from Original Plan:

1. Change Flex Space to Walk-in Pantry.
2. Increased length of coat closet.
3. Removed half wall with columns and replaced with boxed beam above.
4. Moved sink and window above sink to back wall of house — swapping with range position.
5. Add refrigerator depth wall next to refrigerator.



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Second Floor

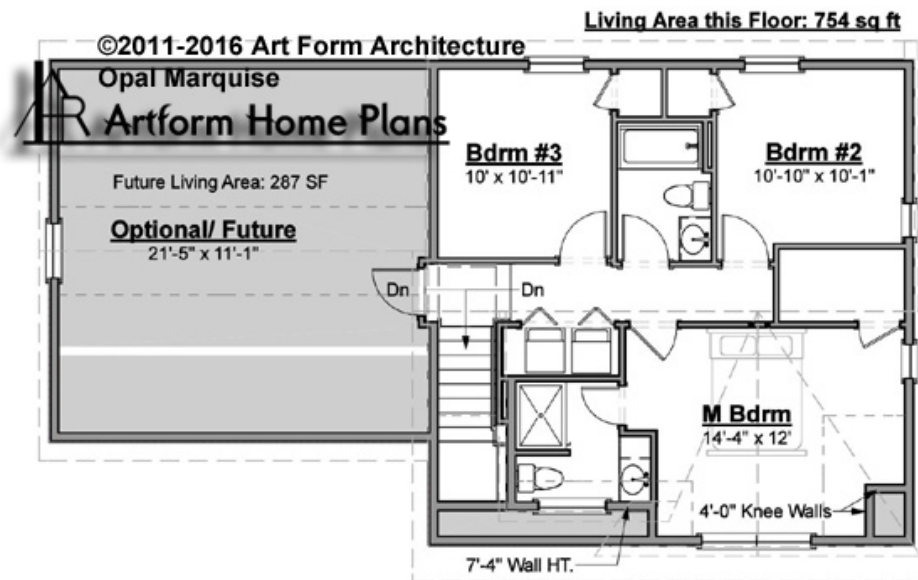
	Area	Beds	Baths
Main	754 SF	3	2
Future	287 SF	1	0
Apt	0 SF	0	0
Total	1041 SF	4	2

Ceiling Height	
Shown	8'-0"
Possible*	9'-0"

* See Major Change information on plan page for cost

Note Changes from Original Plan:

1. Move laundry to basement.
2. Need to determine what to do with laundry closet
— add to master bath or leave as storage closet?



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Basement Floor

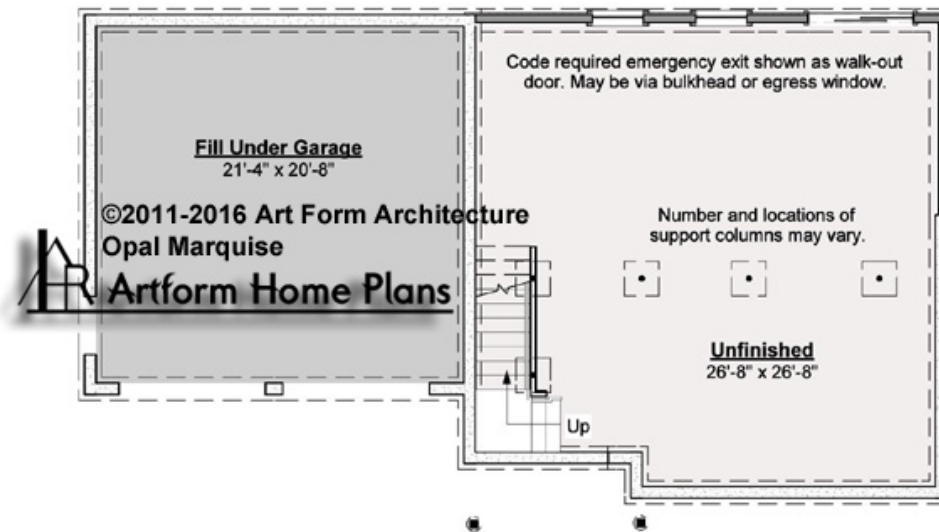
	Area	Beds	Baths
Main	0 SF	0	0
Future	0 SF	0	0
Apt	0 SF	0	0
Total	0 SF	0	0

Ceiling Height

Shown 7'-8"

Possible* 9'-0"

* See Major Change information on plan page for cost



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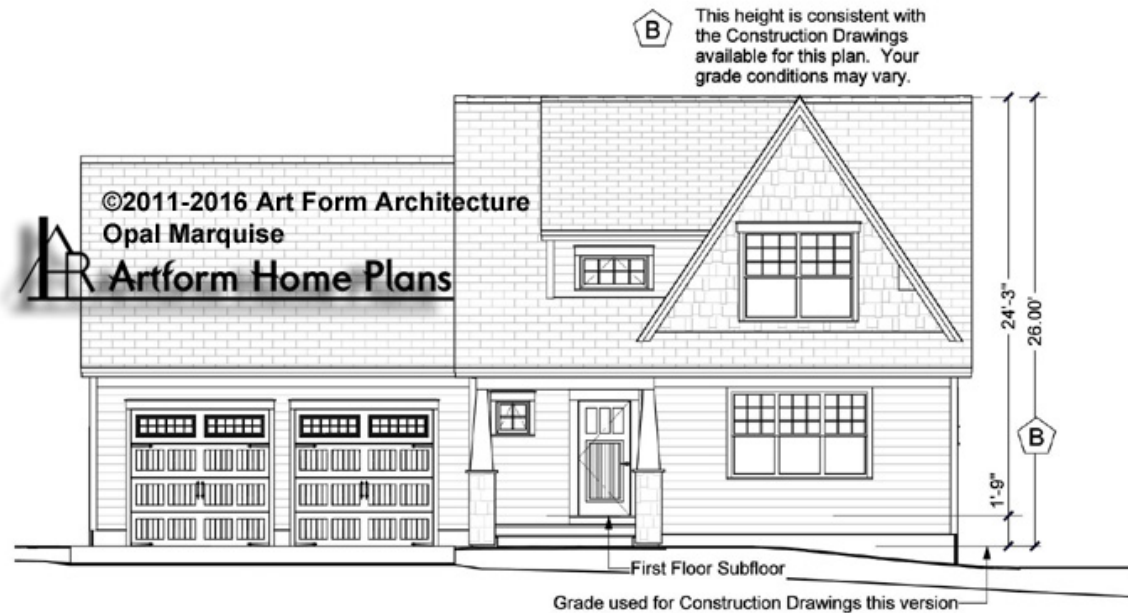
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Front Elevation



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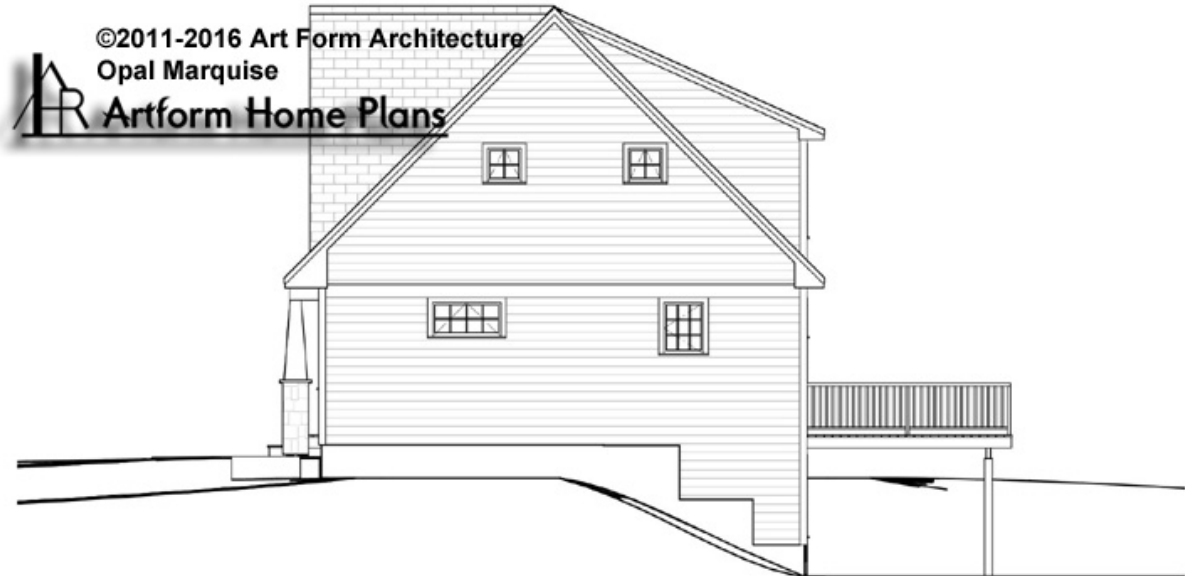
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Right Elevation



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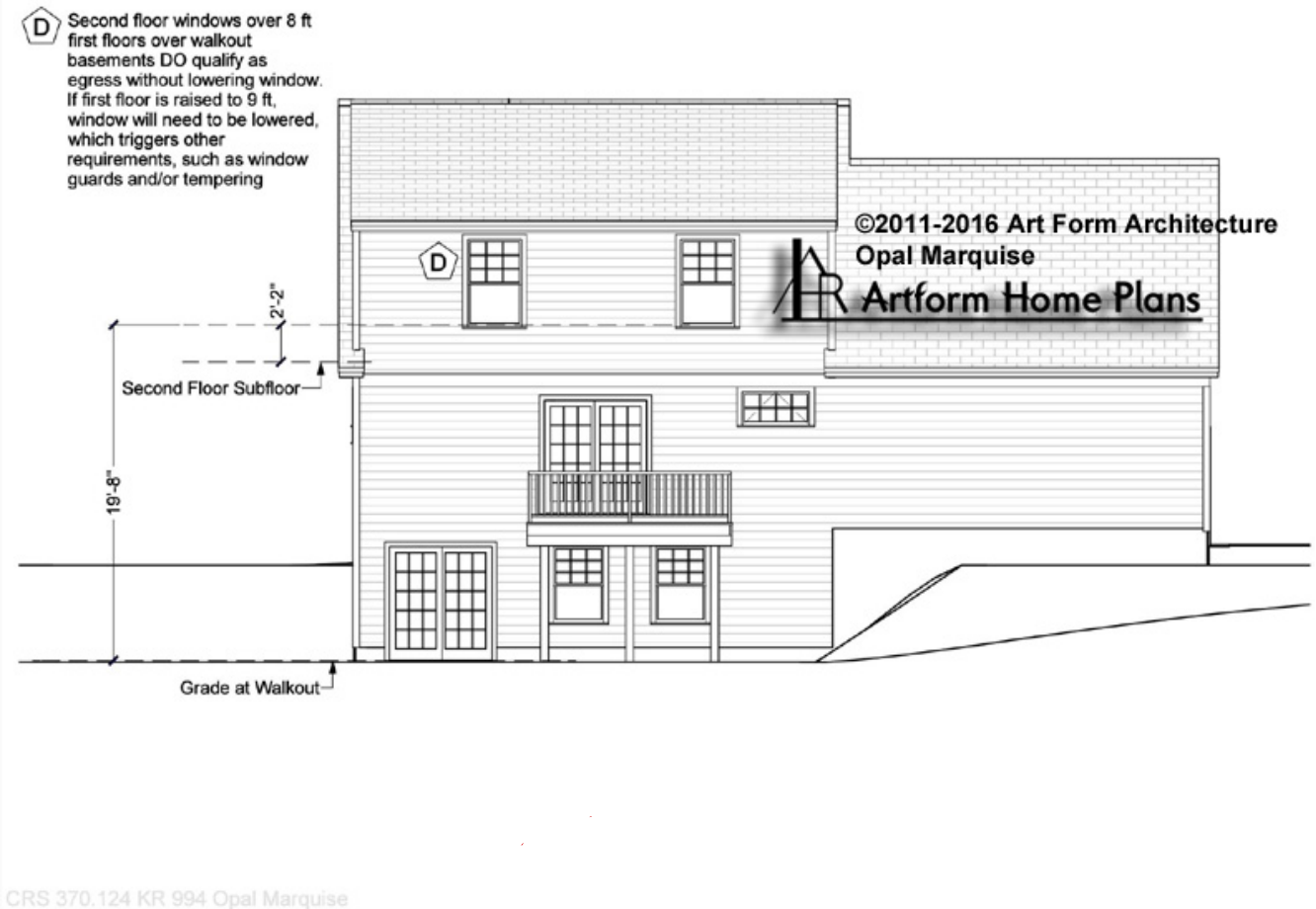
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Rear Elevation



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Left Elevation



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