

Bally Kiss Cottage

These drawings are intended for use by an experienced professional builder in responsible charge of the entire project, including but not limited to mechanical, electrical and sitework. Any additional adaptation for these trades or other trades must be determined prior to start of construction. Contact Artform for any adjustments needed.

Single door windows on either side?

NOTE TO HOMEOWNER:
These construction plans ARE NOT a part of your construction contract with your builder, unless your P&S agreement specifies that they are. Your P&S and its attachments (like the builder's specifications or a review set of this design) describes what you and your builder agreed the builder would build for you. We have at Artform Home Plans do not have the authority to obligate your builder to provide you with amenities like fireplaces and spa tubs. The contract between you and your builder governs.

Wall Types

Exterior walls 2x6 wood stud
Interior walls 2x4 wood stud, unless noted otherwise

Wall Keys

- 2x wood studs on the flat
 - 2x3 wood stud wall, 16" oc
 - 2x6 wood stud wall, 16" oc
- Note: 2x4 wood stud wall, 16" oc unless otherwise noted

Key Notes

- 30" x 22" Minimum Attic Access Panel - Insulated (R0 34" x 26")
- Field locate for plumbing or mechanical
- Verify size of fixture or appliance. Adjust dimensions to accommodate
- Snug - Door or Window trim will be snug and may need to be cut down
- Center - Place door or window centered on wall
- Double Stud or structural mull - adapt to suit chosen window brand. Object is to have some "bite" for curtain hardware and exterior aesthetics.
- Smoke Detector
- Carbon Monoxide Detector

Dimensions

Dimensions are to face of stud, unless noted otherwise. Closets are 24" clear inside, unless dimensioned otherwise.

Square Footages

- Sq ft numbers are interior to room for use in calculating finishes.
- Cabinets and fixtures not subtracted.
- Add for doorways when floor finishes run through.

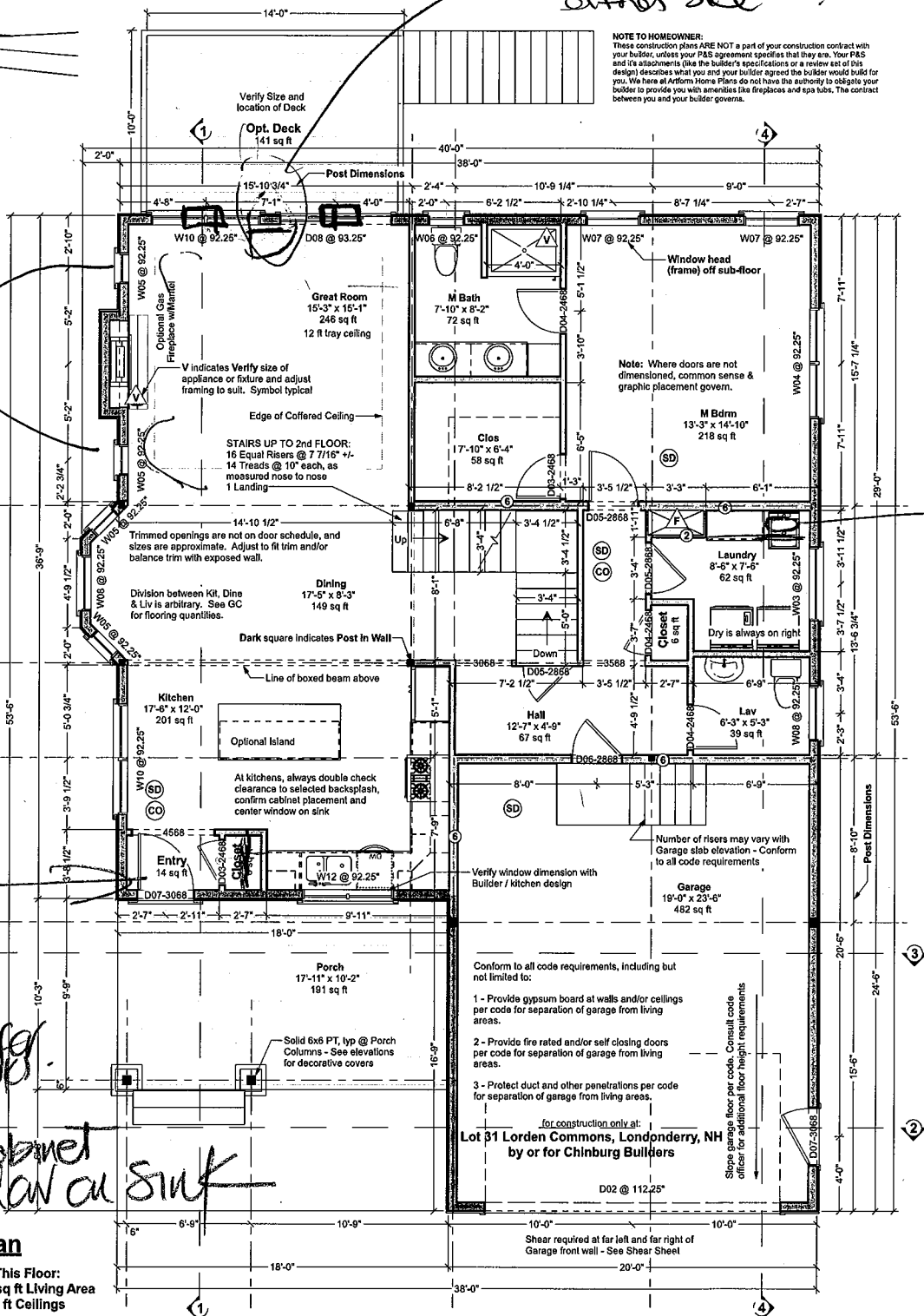
Notes

- Exterior walls 2x6 wood stud @ 16" oc. Provide insulation & vapor barrier conforming to state or local codes. Interior sheathing 1/2" gypsum board. Provide 1/2" exterior rated sheathing, house wrap with drainage plane and siding. Provide step flashing at walls adjacent to roof planes.
- Interior walls 2x4 wood stud @ 16" oc, unless noted otherwise.
- Roof - see structural for rafter sizes. Provide 5/8" exterior rated roof sheathing 15# roofing felt, ice & water shield at eaves and valleys, aluminum drip edge and asphalt shingles or metal roofing. Structure not calculated to support slate or tile. Flash all penetrations. Provide cricket at any added chimneys.
- Provide roof and/or ceiling insulation per code. Provide soffit and ridge vents where required for insulation strategy. (Verify with code officer - closed cell spray foam or dense-pack cellulose installed at rafters and filling ridge and eaves generally contra-indicates venting, batt insulation always requires venting).
- Provide smoke detectors where shown, where required by code and where required by local authorities.
- Provide fire resistive materials where required by code, including but not limited to, firestopping at penetrations, 1/2" drywall on walls and 5/8" drywall on ceilings to separate garage (where garage present in design) from dwelling, and separation of dwellings (where more than one dwelling present in design), and protection of flammable insulation materials.
- Confirm bottom of window opening relative to frame. Adjust head heights as required to conform to IRC 2009 R612.2, or provide code approved guards.
- Compliance with code requirements for rooms size and clearances, (hallway widths, room sizes, etc) assume 1/2" drywall on walls and 1/2" drywall on 3/4" strapping on ceilings. Adjust as required if materials differ.
- Some windows must be installed with a head height greater or lesser than the standard 80" or 82 1/2" to provide clearances at kitchen counters, to meet code sill height or to clear roofs. Where approx 64" head height is called for, install 2x10 header light to double top plate, frame window RO light to header.
- Shear is only called out where Continuous Portal Frame will not suffice. See Section R602.10.4 (Pages 173 - 179) of the IRC 2009.

Like Lot 2 Rock
Remove 1/2" linen closet, leave for kitchen cabinet
Adding a tall utility kitchen cabinet center window on sink

First Floor Plan

This Floor:
1268 sq ft Living Area
9 ft Ceilings



WINDOW SCHEDULE									
NUMBER	QTY	WIDTH	HEIGHT	R/O	EGRESS	TEMPERED	MANUFACTURER	DESCRIPTION	COMMENTS
W01	3	23 1/2"	23 1/2"	24"x24"			PARADIGM	AWNING	
W02	1	35 1/2"	35 1/2"	36"x36"			PARADIGM	AWNING	
W03	1	47 1/2"	23 1/2"	48"x24"			PARADIGM	AWNING	
W04	1	71"	23 1/2"	71 1/2"x24"			PARADIGM	2X AWN	
W05	4	18 1/2"	65 1/2"	20"x65"			PARADIGM	DOUBLE HUNG	
W06	1	23 1/2"	47 1/2"	24"x48"			PARADIGM	DOUBLE HUNG	
W07	2	35 1/2"	65 1/2"	36"x65"	YES		PARADIGM	DOUBLE HUNG	
W08	2	35 1/2"	65 1/2"	36"x65"			PARADIGM	DOUBLE HUNG	
W09	2	76"	61 1/2"	76 1/2"x62"			PARADIGM	2X DH	
W10	2	71"	65 1/2"	71 1/2"x66"			PARADIGM	2X DH	
W11	1	31 1/2"	47 1/2"	32"x48"	YES		PARADIGM	SINGL CASEMENT-HR	
W12	1	59"	47 1/2"	59 1/2"x48"			PARADIGM	DBL CASEMENT-HR	

DOOR SCHEDULE									
NUMBER	QTY	FLOOR	SIZE	WIDTH	HEIGHT	TYPE	COMMENTS		
D01	1	0	2858 R IN	32"	80"	HINGED			
D02	1	1	16994	192"	112"	MULLED UNIT			
D03	2	1	2458 L IN	26"	80"	HINGED			
D04	3	1	2458 R IN	26"	80"	HINGED			
D05	3	1	2858 L IN	32"	80"	HINGED			
D06	1	1	2858 R EX	32"	80"	HINGED			
D07	1	1	3058 L EX	36"	80"	HINGED			
D08	1	2	11026 L EX	22"	30"	MULLED UNIT			
D09	1	2	3058 L EX	36"	80"	HINGED			
D10	1	0	2458 R IN	26"	80"	HINGED			
D11	1	2	2858 L IN	32"	80"	HINGED			
D12	1	2	2858 L IN	32"	80"	HINGED			
D13	1	2	2858 L IN	32"	80"	HINGED			
D14	1	2	2858 R IN	32"	80"	HINGED			
D15	1	2	4058 LR IN	46"	80"	DOUBLE HINGED			
D16	1	2	4658 LR IN	54"	80"	DOUBLE HINGED			

Door & Window Notes

- Rated Doors:** Provide fire rated and/or self-closing doors where required by local codes or local authorities.
- Trimmed Openings:** Trimmed openings not shown on schedule. See Plan.
- Window Tempering:** Provide tempered windows where required by local codes or local authorities. Tempering column provided here for convenience. Windows have not been reviewed for tempering requirements.
- Window RO's:** 1/4" or 1/2" on each of 4 sides allowed for window RO's, typical. Review framing size vs RO size. Adjust per manufacturer's requirements and/or builder preference.
- Egress Windows:** Provide minimum one door or window meeting egress requirements in basement, in each sleeping room, in each potential sleeping room, and other locations required by local code, in sizes required by local code. Note that casement windows coded by manufacturer as meeting IRC 2009 egress requirements typically need to be ordered with specific hardware. Emergency Escape Window Sizes (Section R310.1.1, R310.1.2, R310.1.3, R310.1.4, and R310.1.4). Will also comply with NFPA 101.
- Basement Windows:** Add basement windows as required to meet state or local code requirements, including but not limited to egress and light/ventilation.
- Skylights:** Skylights are not shown on this schedule, but may be required. Consult builder and/or see floor plan.
- Minimum window sill height:** IRC 2006 and later requires that upper floor window sills be 24" from floor.

countertop with utility sink

Dear Code Officer,

These are pre-designed home plans, designed to bring good design and construction drawings to people at more affordable prices and faster time frames than traditional architecture. Where traditional "Internet" home plans disclaim all responsibility, we split responsibility between us (Artform) and the owner. We encourage the future homeowners to use a quality builder who can assist them with this. They are responsible for thermal and moisture decisions and for meeting code in ways that a quality builder should know. We are responsible for things that are directly related to the design and/or that a quality builder couldn't reasonably figure out on their own - specifically the following IRC 2009 code sections:

- 1 - Room sizes (Section R304)
- 2 - Ceiling Height (Section R305)
- 3 - Floor space & ceiling height at Toilet, Bath and Shower Spaces (Section R307)
- 4 - Hallway widths (Section R311.6)
- 5 - Door types & sizes (Section R311.2)
- 6 - Floor space in front of doors (Section R311.3)
- 7 - Stair width - The stairs in our designs will be a minimum of 36" wide measured wall surface to wall surface, allowing compliance with R311.7.1 with installation of correct handrail.
- 8 - Stairway headroom (Section R311.7.2)
- 9 - Stair treads and risers (Section R311.7.4)
- 10 - Landings for stairways (Section R311.7.5)
- 11 - Emergency Escape Window Sizes (Section R310.1.1, R310.1.2, R310.1.3, and R310.1.4). Casement windows may require manufacturer's emergency escape window hardware. Will also comply with NFPA 101.
- 12 - Structural Floor Framing (Section R502.3) Where dimensional lumber is shown, framing members will be sized according to the section of the code. Where engineered wood products are shown, those framing members will be sized according to the manufacturer's tables for loads and spans, or sizes will have been calculated using manufacturer's published materials properties.
- 13 - See structural sheets for additional notes.

The builder can and should add information to this set, such as Rescheck, a hand markup of our generic thermal and moisture section, additional information about doors and windows (such as fire rating, tempering, etc), foundation drops relative to site grading, and sometimes their chosen method of basement egress. These drawings are not intended to be used without that additional information.

Where a construction address is shown on the drawings, it is for copyright control only. We have not inspected the site, adapted the design to state specific laws (except where it says so in the drawings) or site or region specific climate conditions. Homeowner and/or Builder shall be responsible for thermal and moisture control strategies, materials choices and compliance with applicable laws and ordinances.

Please do feel free to call us with any questions. We can and do update our drawings and standard notes to address specific concerns, especially in jurisdictions where our clients will be building again.

Dear Everybody,

With these drawings a copyright license is granted for a single construction only at Lot 31 Lorden Commons, Londonderry, NH by or for Chinburg Builders. This is a License to Build, and does not include a License to Modify, except as required to conform to building code or fulfill builder's/owner's responsibilities.

Permissible uses of these drawings:

- All activities associated with construction at the listed address.
- Pricing or preliminary discussions with zoning or code officials for construction at other addresses, with prior notification to Artform Home Plans - just use the Contact form on the web site - <http://www.artformhomeplans.com/contact.asp>

Not Permitted:

- Application for any permits or other approvals for construction at properties other than the listed address, including but not limited to construction, zoning, conservation, or design review.
- Modification of the basic design.

Use of these drawings outside these parameters is a violation of federal copyright law, punishable by both civil action and criminal prosecution. It's also stealing or enabling theft, which doesn't suddenly become less bad just because it's "intellectual property". Making changes, even significant changes, does not change this. Under copyright law, that's "derivative works". You still used our work, and we still spent significant time preparing it, quite possibly in the wee hours when everybody else was sleeping!

We can provide drawings suitable for use in obtaining design or zoning approvals without incurring the expense of a full set of construction drawings. Contact us for more information. We want to allow reasonable use at reasonable costs, just not have our work stolen.

Your use of these drawings constitutes an acceptance of responsibility as outlined in "Dear Code Officer" on the first page of these drawings, and on our web site: <http://www.artformhomeplans.com/TermsConditions.asp>

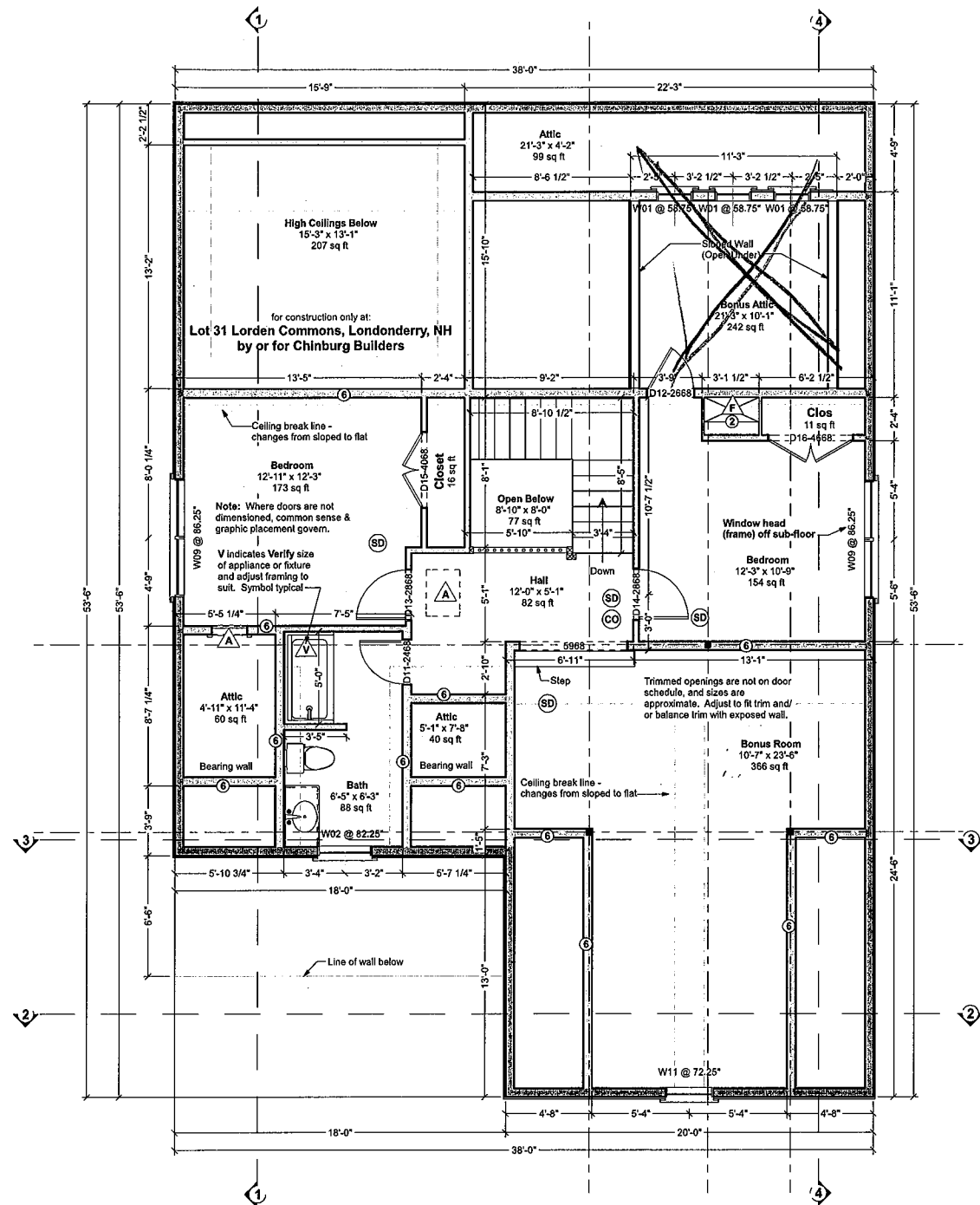
If you have any concerns or questions, please feel free to contact us. We are happy to clarify matters that fall within our scope, as listed on the first page. We can also often provide affordable support for issues that are your responsibility, such as energy design/codes, or additional detailing.

Artform Home Plans

AFHP Design # 554.125.v2
© 2008-2015 Wendy Walton 603.431.9559

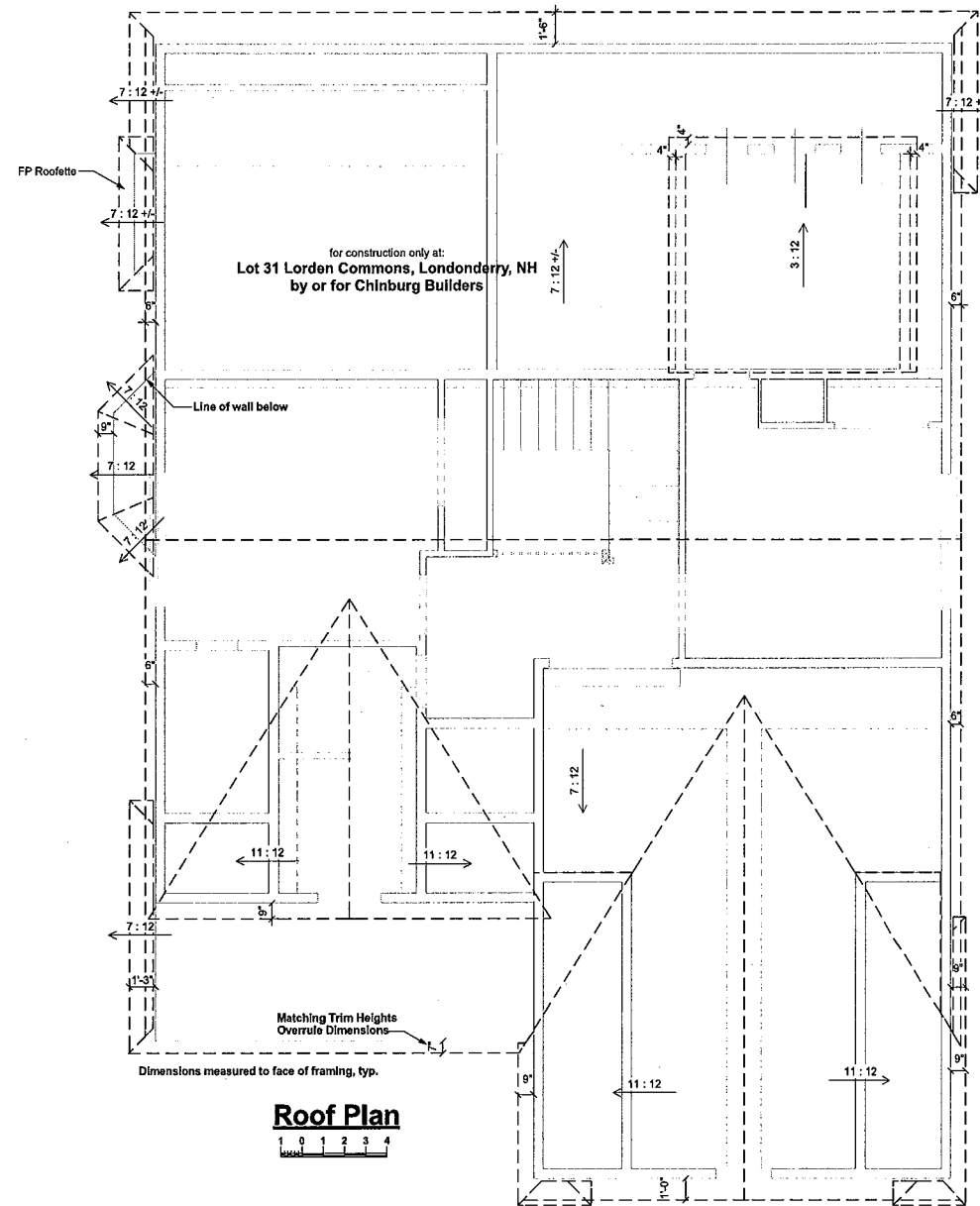
Bally Kiss Cottage
Lot 31 Lorden Commons
Londonderry, NH

14"x10" w/ink noted otherwise / Print @ 1:1
PDF created on: 7/14/2015, drawn by ACJ



Second Floor Plan

This Floor:
990 sq ft Living Area
8 ft Ceilings



Roof Plan

1 0 1 2 3 4

Your use of these drawings constitutes an acceptance of responsibility as outlined in "Dear Code Officer" on the first page of these drawings, and on our web site: <http://www.artformhomeplans.com/TermsConditions.pdf>

If you have any concerns or questions, please feel free to contact us. We are happy to clarify matters that fall within our scope, as listed on the first page. We can also often provide affordable support for issues that are your responsibility, such as energy design/calcs, or additional detailing.

Artform Home Plans AFHP Design # 554.126.v3 © 2008-2015 Wendy Wellon 603.431.9559	
Bally Kiss Cottage Lot 31 Lorden Commons Londonderry, NH	2
1/4"=1'-0" unless noted otherwise / Print @ 1:1 PDF created on: 7/14/2015, drawn by ACJ	Issued for: Construction