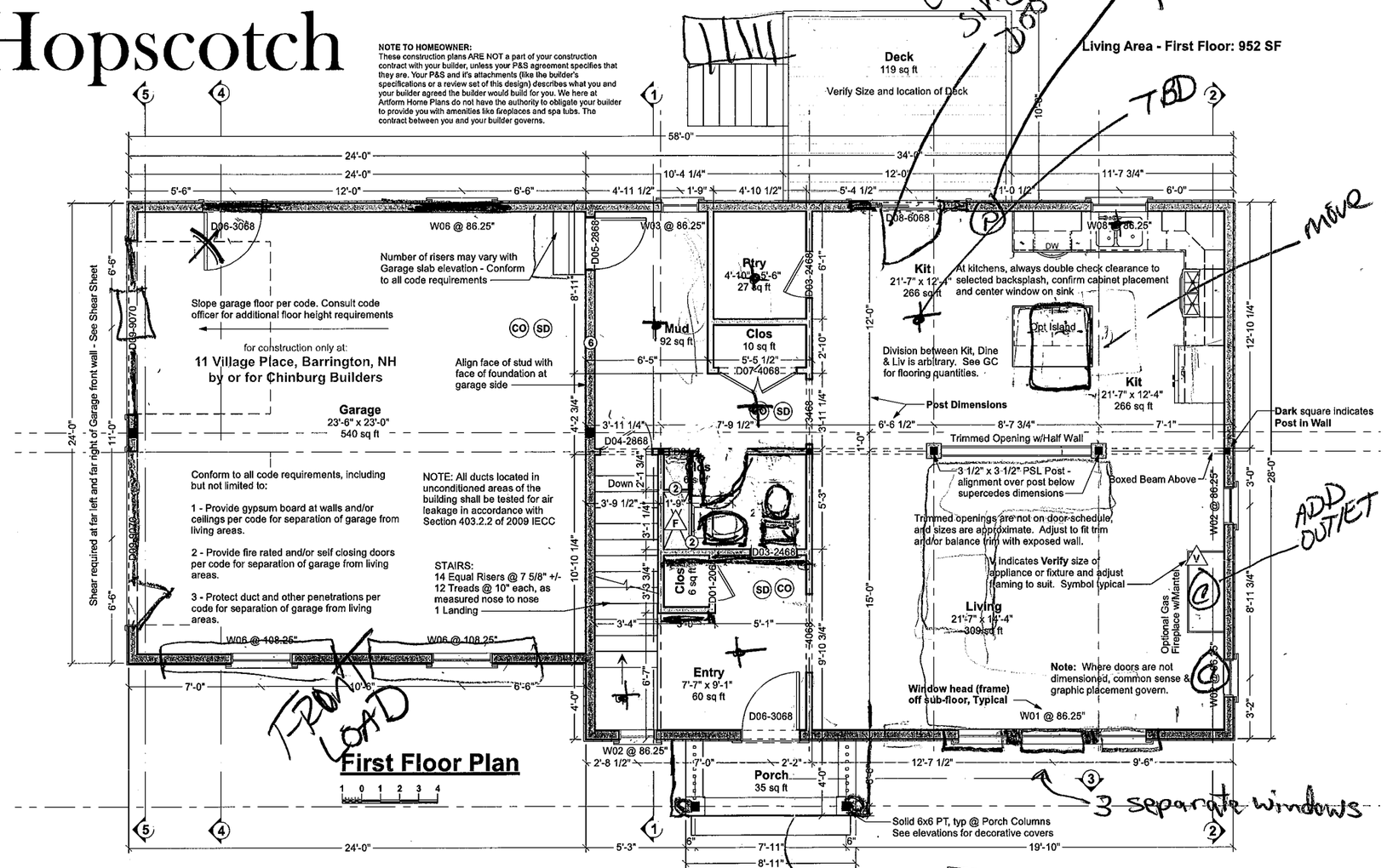
# Hopscotch

**NOTE TO HOMEOWNER:**
These construction plans ARE NOT a part of your construction contract with your builder, unless your P&S agreement specifies that they are. Your P&S and it's attachments (like the builder's specifications or a review set of this design) describes what you and your builder agreed the builder would build for you. We here at Artform Home Plans do not have the authority to obligate your builder to provide you with amenities like fireplaces and spa tubs. The contract between you and your builder governs.




## Wall Types

Exterior walls 2x6 wood stud
Interior walls 2x4 wood stud, unless noted otherwise

## Wall Keys

(2) 2x wood studs on the flat
(3) 2x3 wood stud wall, 16" oc
(6) 2x6 wood stud wall, 16" oc
Note: 2x4 wood stud wall, 16" oc unless otherwise noted

## Key Notes

(A) 30" x 22" Minimum Attic Access Panel - Insulated (RO 34" x 26")
(F) Field locate for plumbing or mechanical
(V) Verify size of fixture or appliance Adjust dimensions to accommodate
(S) Snug - Door or Window trim will be snug and may need to be cut down
(C) Center - Place door or window centered on wall
(D) Double Stud or structural mull – adapt to suit chosen window brand. Object is to have some "bite" for curtain hardware and exterior aesthetics.

(SD) Smoke Detector
(CO) Carbon Monoxide Detector

## Dimensions

Dimensions are to face of stud, unless noted otherwise. Closets are 24" clear inside, unless dimensioned otherwise.

## Square Footages

1. Sq ft numbers are interior to room for use in calculating finishes.
2. Cabinets and fixtures not subtracted.
3. Add for doorways when floor finishes run through.

## Notes

1 - Exterior walls 2x6 wood stud @ 16" oc. Provide insulation & vapor barrier conforming to state or local codes. Interior sheathing 1/2" gypsum board. Provide 1/2" exterior rated sheathing, house wrap with drainage plane and siding. Provide step flashing at walls adjacent to roof planes.

2 - Interior walls 2x4 wood stud @ 16" oc, unless noted otherwise.

3 - Roof - see structural for rafter sizes. Provide 5/8" exterior rated roof sheathing 15# roofing felt, ice & water shield at eaves and valleys, aluminum drip edge and asphalt shingles or metal roofing. Structure not calculated to support slate or tile. Flash all penetrations. Provide cricket at any added chimneys.

4 - Provide roof and/or ceiling insulation per code. Provide soffit and ridge vents where required for insulation strategy. (Verify with code officer - closed cell spray foam or dense-pack cellulose installed at rafters and filling ridge and eaves generally contra-indicates venting, batt insulation always requires venting).

5 - Provide smoke detectors where shown, where required by code and where required by local authorities.

6 - Provide fire resistive materials where required by code, including but not limited to, firestopping at penetrations, 1/2" drywall on walls and 5/8" drywall on ceilings to separate garage (where garage present in design) from dwelling, and separation of dwellings (where more than one dwelling present in design), and protection of flammable insulation materials.

7 - Confirm bottom of window opening relative to frame. Adjust head heights as required to conform to IRC 2009 R612.2, or provide code approved guards.

8 - Compliance with code requirements for rooms size and clearancess, (hallway widths, room sizes, etc) assume 1/2" drywall on walls and 1/2" drywall on 3/4" strapping on ceilings. Adjust as required if materials differ.

9 - Some windows must be installed with a head height greater or lesser than the standard 80" or 82 1/2" to provide clearance at kitchen counters, to meet code sill height or to clear roofs. Where approx 84" head height is called for, install 2x10 header tight to double top plate, frame window RO tight to header.

10-Shear is only called out where Continuous Portal Frame will not suffice. See Section R602.10.4 (Pages 173 - 179) of the IRC 2009.

**Dear Code Officer,**
These are predesigned home plans, designed to bring good design and construction drawings to people at more affordable prices and faster time frames than traditional architecture. Where traditional "internet" home plans disclaim all responsibility, we split responsbility between us (Artform) and the owner. We encourge the future homeowners to use a quality builder who can assist them with this. They are responsible for thermal and moisture decisions and for meeting coding in ways that a quality builder should know. We are responsible for things that are directly related to the design and/or that a quality builder couldn't reasonably figure out on their own - specifically the following IRC 2009 code sections:

1 - Room sizes (Section R304)
2 - Ceiling Height (Section R305)
3 - Floor space & ceiling height at Toilet, Bath and Shower Spaces (Section R307)
4 - Hallway widths (Section R311.6)
5 - Door types & sizes (Section R311.2)
6 - Floor space in front of doors (Section R311.3)
7 - Stair width - The stairs in our designs will be a minimum of 36" wide measured wall surface to wall surface, allowing compliance with R311.7.1 with installation of correct handrail.
8 - Stairway headroom (Section R311.7.2)
9 - Stair treads and risers (Section R311.7.4)
10 - Landings for stairways (Section R311.7.5)
11 - Emergency Escape Window Sizes (Section R310.1.1, R310.1.2, R310.1.3 and R310.1.4). Casement windows may require manufacturer's emergency escape window hardware. Will also comply with NFPA 101.
12 - Structural Floor Framing (Section R502.3) Where dimensional lumber is shown, framing members will be sized according to this section of the code. Where engineered wood products are shown, those framing members will be size according to the manufacturer's tables for loads and spans, or sizes will have been calculating using manufacturer's published materials properties.
13 - See structural sheets for additional notes.

The builder can and should add information to this set, such as Rescheck, a hand markup of our generic thermal and moisture section, additional information about doors and windows (such as fire rating, tempering, etc), foundation drops relative to site grading, and sometimes their chosen method of basement egress. These drawings are not intended to be used without that additional information.

Where a construction address is shown on the drawings, it is for copyright control only. We have not inspected the site, adapted the design to state specific laws (except where it says so in the drawings) or site or region specific climate conditions. Homeowner and/or Builder shall be responsible for thermal and moisture control strategies, materials choices and compliance with applicable laws and ordinances.

Please do feel free to call us with any questions. We can and do update our drawings and standard notes to address specific concerns, especially in jurisdictions where our clients will be building again.

**Dear Everybody,**
With these drawings a copyright license is granted for a single construction only at 11 Village Place, Barrington, NH by or for Chinburg Builders. This is a License to Build, and does not include a License to Modify, except as required to conform to building code or fulfill builder's/owners responsibilities.

**Permissable uses of these drawings:**
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- Pricing or preliminary discussions with zoning or code officials for construction at other addresses, with prior notification to Artform Home Plans - just use the Contact form on the web site - http://www.artformhomeplans.com/contact.a5w

**Not Permitted:**
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- Modification of the basic design.

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We can provide drawings suitable for use in obtaining design or zoning approvals without incurring the expense of a full set of construction drawings. Contact us for more information. We want to allow reasonable use at reasonable costs, just not have our work stolen.



Your use of these drawings constitutes an acceptance of responsibility as outlined in "Dear Code Officer" on the first page of these drawings, and on our web site:
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If you have any concerns or questions, please feel free to contact us. We are happy to clarify matters that fall within our scope, as listed on the first page. We can also often provide affordable support for issues that are your responsibility, such as energy design/calcs, or additional detailing.

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AFHP Design # 408.124.v4 KR
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11 Village Place
Barrington, NH

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| WINDOW SCHEDULE | | | | | | | | | |
|---|---|---|---|---|---|---|---|---|---|
| NUMBER | QTY | WIDTH | HEIGHT | R/O | EGRESS | TEMPERED | DESCRIPTION | MANUFACTURER | COMMENTS |
| W01 | 1 | 118 " | 61 1/2 " | 118 1/2"X62" | | | 3X DH | PARADIGM | |
| W02 | 3 | 23 1/2 " | 23 1/2 " | 24"X24" | | | AWNING | PARADIGM | |
| W03 | 2 | 23 1/2 " | 43 1/2 " | 24"X44" | | | DOUBLE HUNG | PARADIGM | |
| W04 | 4 | 23 1/2 " | 43 1/2 " | 24"X44" | | YES | DOUBLE HUNG | PARADIGM | |
| W05 | 3 | 38 " | 61 1/2 " | 38 1/2"X62" | YES | | DOUBLE HUNG | PARADIGM | |
| W06 | 3 | 38 " | 61 1/2 " | 38 1/2"X62" | | | DOUBLE HUNG | PARADIGM | |
| W07 | 1 | 71 " | 47 1/2 " | 71 1/2"X48" | YES | | 2X CASEMENT | PARADIGM | |
| W08 | 1 | 35 1/2 " | 41 1/2 " | 36"X42" | | | SNGL CASEMENT-HR | PARADIGM | |
| W10 | 1 | 23 1/2 " | 47 1/2 " | 24"X48" | | | SNGL CASEMENT-HL | PARADIGM | |
| W11 | 1 | 23 1/2 " | 47 1/2 " | 24"X48" | | YES | SNGL CASEMENT-HR | PARADIGM | |

| DOOR SCHEDULE | | | | | | | |
|---|---|---|---|---|---|---|---|
| NUMBER | QTY | FLOOR | SIZE | WIDTH | HEIGHT | TYPE | COMMENTS |
| D01 | 1 | 1 | 2068 L IN | 24 " | 80 " | HINGED | |
| D02 | 1 | 0 | 3068 L EX | 36 " | 80 " | HINGED | |
| D03 | 2 | 1 | 2468 R IN | 28 " | 80 " | HINGED | |
| D04 | 2 | 1 | 2868 L IN | 32 " | 80 " | HINGED | |
| D05 | 1 | 1 | 2868 L EX | 32 " | 80 " | HINGED | |
| D06 | 2 | 1 | 3068 R EX | 36 " | 80 " | HINGED | |
| D07 | 1 | 1 | 4068 L/R IN | 48 " | 80 " | DOUBLE HINGED | |
| D08 | 1 | 1 | 6068 R EX | 72 " | 80 " | SLIDER | |
| D09 | 2 | 1 | 9070 | 108 " | 84 " | GARAGE | |
| D10 | 1 | 2 | 11026 R EX | 22 " | 30 " | HINGED | |
| D11 | 1 | 2 | 5468 L/R IN | 64 " | 80 " | DOUBLE HINGED | |
| D12 | 1 | 2 | 1468 R IN | 16 " | 80 " | HINGED | |
| D13 | 4 | 2 | 2468 L IN | 28 " | 80 " | HINGED | |
| D14 | 2 | 2 | 2468 R IN | 28 " | 80 " | HINGED | |
| D15 | 2 | 2 | 2868 L IN | 32 " | 80 " | HINGED | |
| D16 | 2 | 2 | 2868 R IN | 32 " | 80 " | HINGED | |
| D17 | 1 | 2 | 5068 L/R IN | 60 " | 80 " | DOUBLE HINGED | |

**Door & Window Notes**

**1. Rated Doors:** Provide fire rated and/or self-closing doors where required by local codes or local authorities

**2. Trimmed Openings:** Trimmed openings not shown on schedule. See Plan.

**3. Window Tempering:** Provide tempered windows where required by local codes or local authorities. Tempering column provided here for convenience. Windows have not been reviewed for tempering requirements.

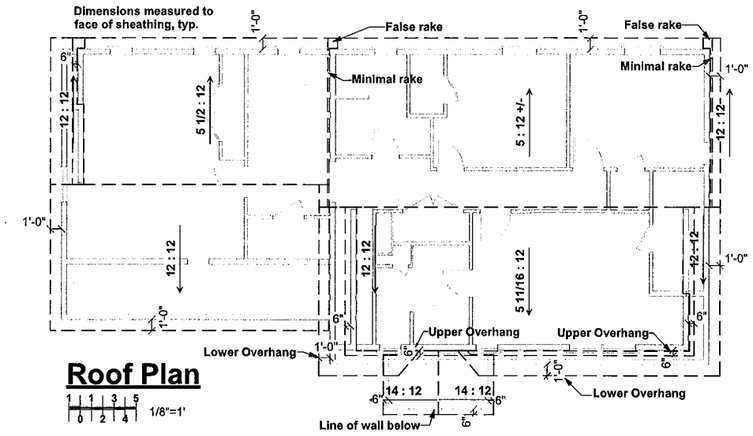
**4. Window RO's:** 1/4" or 1/2" on each of 4 sides allowed for window RO's, typical. Review framing size vs RO size. Adjust per manufacturer's requirements and/or builder preference.

**5. Egress Windows:** Provide minimum one door or window meeting egress requirements in basement, in each sleeping room, in each potential sleeping room, and other locations required by local code, in sizes required by local code. Note that casement windows coded by manufacturer as meeting IRC 2006 egress requirements typically need to be ordered with specific hardware. Emergency Escape Window Sizes (Section R310.1.1, R310.1.2, R310.1.3 and R310.1.4). Will also comply with NFPA 101.

**6. Basement Windows:** Add basement windows as required to meet state or local code requirements, including but not limited to egress and light/ventilation.

**7. Skylights:** Skylights are not shown on this schedule, but may be required. Consult builder and/or see floor plan.

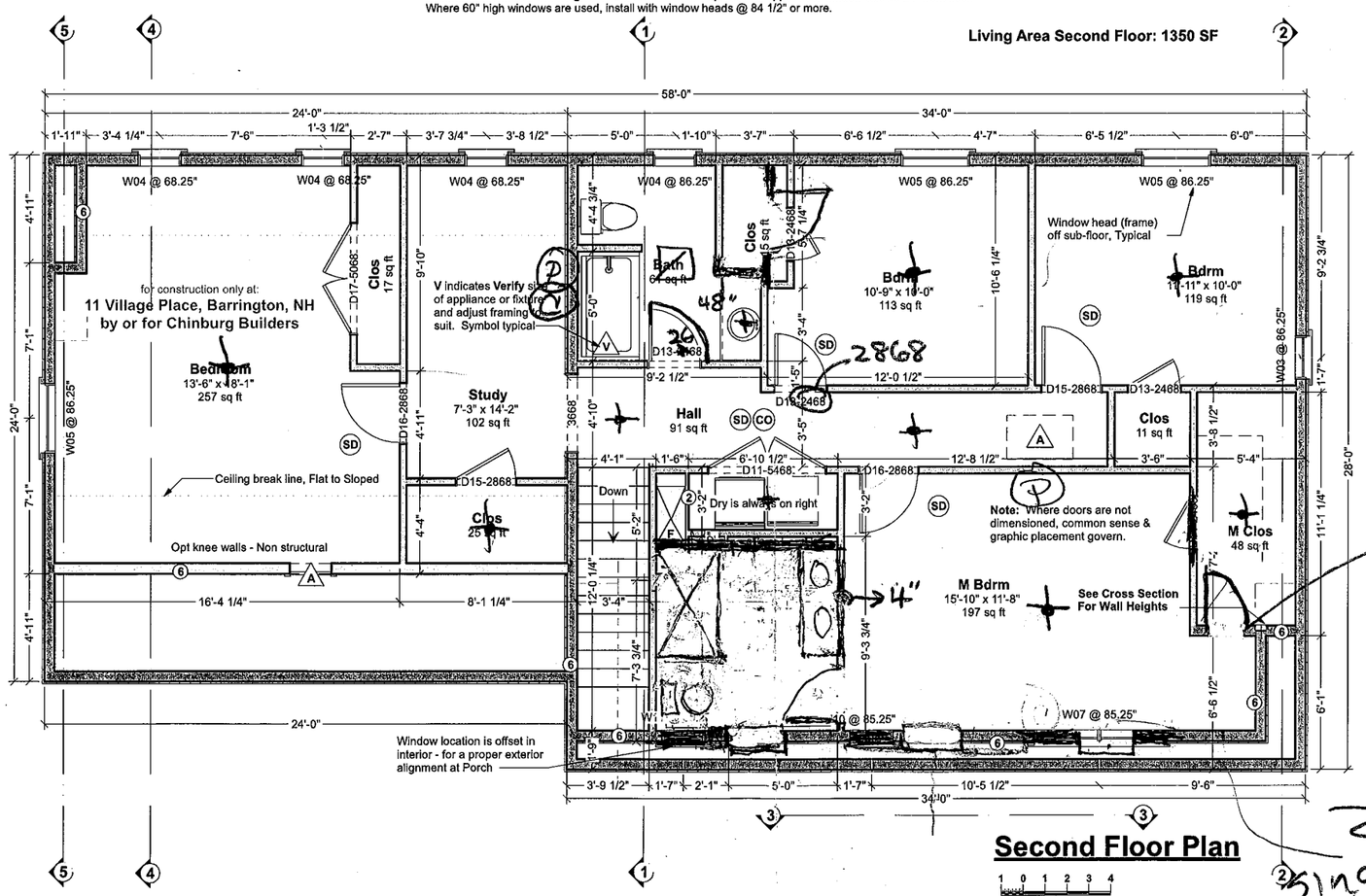
**8. Minimum window sill height:** IRC 2006 and later requires that upper floor window sills be 24" from floor. Where 60" high windows are used, install with window heads @ 84 1/2" or more.




## Roof Plan

1/8"=1'

**Living Area Second Floor: 1350 SF**




## Second Floor Plan

1/4"=1'

can we move 2nd ?

2 single windows

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Structural General Notes:

1. Builder shall consult and follow the building code and other regulations in effect for the building site for all construction details not shown in these drawings. Requirements described here are specific to this design and/or are provided as reference. Additional building code or local requirements may apply.

2. Builder shall maintain a safe worksite, including but not limited to, provision of temporary supports where appropriate and adherence to applicable safety standards.

3. Design is based on the snow load listed on the framing plans, 90 mph basic wind speed, Exposure type B, soil bearing capacity of 2000 psf, and Seismic Category C, unless otherwise noted on the framing plans. Builder shall promptly inform Artform Home Plans of differing conditions.

Foundations

1. No footing shall be poured on loose or unsuitable soils, in water or on frozen ground.

2. All exterior footings to conform to all applicable code requirements for frost protection.

3. All concrete shall have a minimum compressive strength of at least 3000 PSI at 28 days.

4. Foundation achorage to comply with IRC 2009 Section R403.1.6, it shall consist of minimum size 1/2" diameter anchor bolts with 3/16" x 2" x 2" washers at a maximum of 72" oc for two stories or 48" oc for more than two stories, max of 12" from each corner, min of 2 bolts per wall. Anchor bolt shall extend 7" into concrete or grouted cells of concrete masonry units. Be aware that a garage under may be counted by your code officer as a story. Additional anchorage may be required at braced walls.

Wood Framing

1. All structural wood shall be identified by a grade mark or certificate of inspection by a recognized inspection agency.

2. Structural wood shall be Spruce-Pine-Fir (SPF) #2 or better.

3. When used, LVL or PSL indicate Laminated Veneer Lumber or Parallel Strand Lumber, respectively. Products used shall equal or exceed the strength properties for the size indicated as manufacturered by TrusJoist.

4. When used, AJS indicates wood I-joists as manufactured by Boise Cascade. Products of alternate manufacturers may be substituted provided they meet or exceed the strength properties for the member specified.

5. All floor joists shall have bridging installed at mid-span or at 8'-0" oc maximum.

6. Floor systems are designed for performance with subfloor glued and screwed.

7. At posts, provide solid framing/blocking to supports below. Provide minimum 1 1/2" bearing length for all beams and headers, unless noted otherwise.

8. All wood permanently exposed to the weather, in contact with concrete or in contact with the ground shall meet code requirements for wood in these environments.

9. Deck ledgers shall be securely attached to the structure and/or independently supported, including against lateral movement, per building code requirements and best practices. Unless otherwise noted, decks shall have solid 4x4 pt posts up to 6 ft above grade, and solid 8x8 for heights above that.

10. Wherever beams are noted as Flush framed, install joist hangers at all joists, sized appropriately for the members being connected.

11. Support the lower end of roof beams via minimum 2" horizontal bearing on a post, ledger or via an appropriately sized and configured hanger.

12. Where multiple beams are supported on one post, provide min 2" bearing for each, via either appropriately sized post cap or additional post(s).

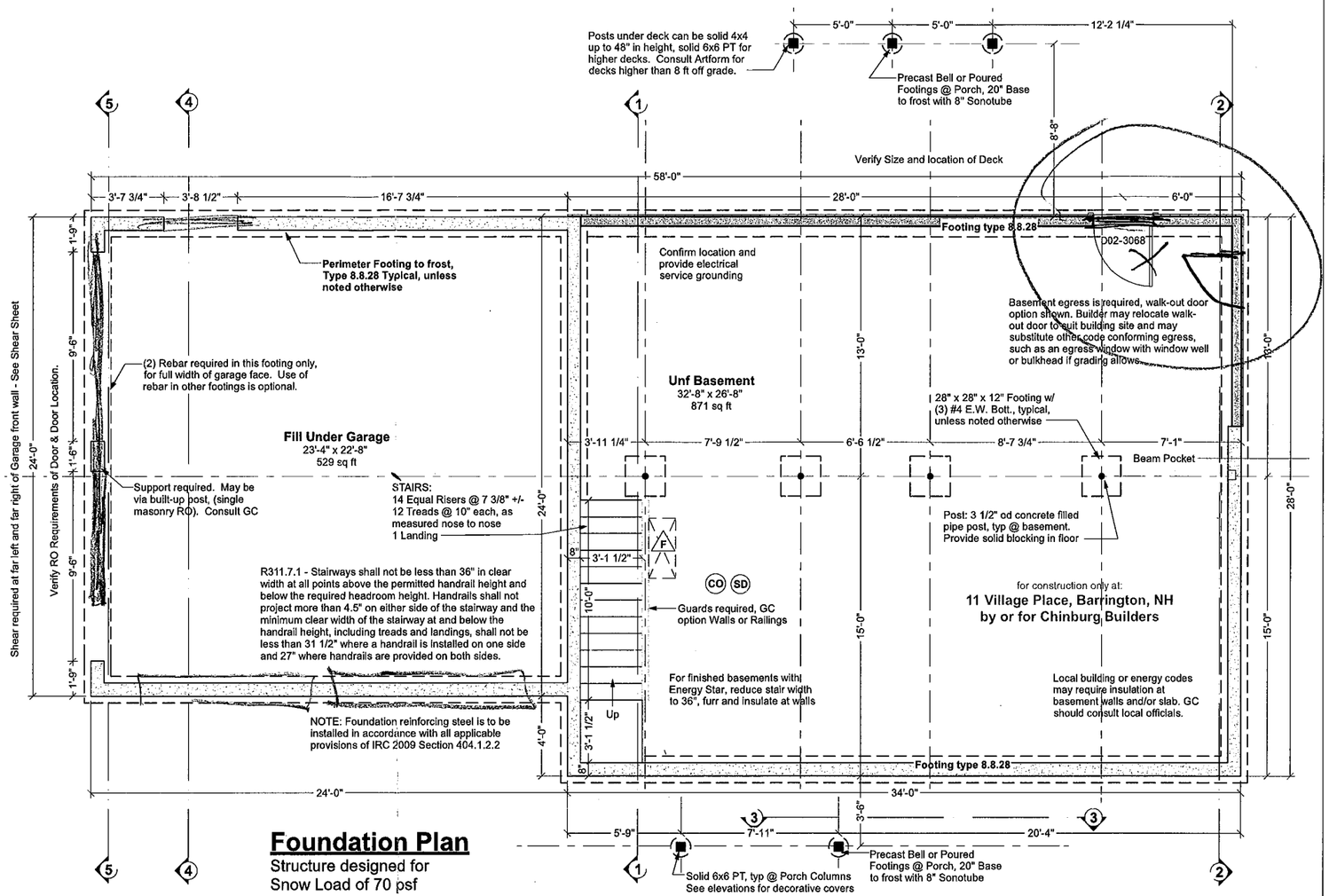
13. Hangers, post caps, ties and other connectors shall be as manufactured by Simpson Strong Tie, as designed to connect the members shown, and shall be installed per manufacturer's instructions.

Prefabricated Wood Trusses

1. Where trusses are indicated on the drawings, truss design shall be provided by truss manufacturer.

2. Trusses shall be designed in accordance with applicable provisions of the latest edition of the National Design Specifications for Wood Construction (NDS), American Forst and Paper Association (APA), and Design Specifications for Metal Plate Connected Wood Trusses (ANSI/TPI 1), Truss Plate Institute (TPI) and code of jurisdiction.

3. Manufacturer shall furnish design drawings bearing seal and registration number of a structural engineer licensed in the state where project will be built.




# Foundation Plan

Structure designed for
Snow Load of 70 psf

1 0 1 2 3 4

**TYPICAL PERIMETER FOUNDATION WALL:**

- 8" poured concrete, 8 ft forms, min 7'-10" finished, with total of 3 rebar, as follows:
- (1) #4 rebar, 4" from top
- (1) #4 rebar @ vertical midpoint. Omit this rebar at walls 4 ft high or less.
- (1) #4 rebar, min 3" from bottom or per code
- Lap corners & splices of rebar per code.
- Secure sill to foundation with 1/2" diameter anchor bolts that extend 7" into concrete and tightened with a nut and washer @ 6' oc & max 12" from each corner & each end @ wood sill splices - if built-up sill, bolts must extend through all sill plates or straps must secure all sill plates.

**TYPICAL PERIMETER FOOTING:**

1. Verify that depth of home matches chart. Depth is foundation dimension eave to eave. Contact Artform Home Plans if you believe the chart does not match the plan.
2. Select column for snow load shown on the structural plans.
3. Select soil bearing pressure based on soil type and/or consultation with code officer.
4. The required footing size is at the intersection of the Snow Load and Soil PSI. Rebar is not required. Key or pin foundation wall to footing per code. For the purposes of permitting, soil bearing for New England is assumed to be 2,000 PSI.

FAQ - Adding rebar to footings does not reduce the required width. Rebar affects performance with earth movement, like an earthquake and has near zero effect on bearing capacity.

**Guide to Soil PSI**

| | |
|---|---|
| 3,000 | Sandy gravel and/or gravel (GW and GP) |
| 2,000 | Sand, silty sand, clayey sand, silty gravel and clayey gravel (SW, SP, SM, SC, GM and GC) |
| 1,500 | Clay, sandy clay, silty clay, clayey silt, silt and sandy silt (CL, ML, MH and CH) |

| Footing Size Type 8.8.28 | | up to 28 ft plan depth<br>8 ft nominal basement height<br>8" foundation wall<br>Full basement plus 2 stories | | | | |
|---|---|---|---|---|---|---|
| | | Snow Load | | | | |
| | | 50 | 60 | 70 | 80 |
| Soil PSI | 3,000 | 16" x 8" | 16" x 8" | 16" x 8" | 16" x 8" |
| | 2,000 | 18" x 8" | 18" x 8" | 18" x 8" | 20" x 8" |
| | 1,500 | 22" x 8" | 22" x 8" | 24" x 8" | 24" x 8" |

**Foundation Contractor Check List**

Confirm or review the following prior to forming & pouring foundation

| Initials | Date | Checked |
|---|---|---|
| ___ | ___ | Confirmed soil bearing |
| ___ | ___ | Checked w/GC for added foundation steps to suit grade |
| ___ | ___ | Confirm sill plate thickness (foundation bolts to extend through all) |
| ___ | ___ | Confirmed garage door size |
| ___ | ___ | Checked w/GC for added basement windows |
| ___ | ___ | Checked w/GC for added basement man doors |
| ___ | ___ | Confirmed sizes & locations mech/plbg penetrations |
| ___ | ___ | Confirmed sizes and locations of beams w/GC, added or adjusted beam pockets |
| ___ | ___ | Confirmed location and installed electrical service grounding - See GC for location |



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NOTE: For roof pitches and overhangs see Roof Plan

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1x10 Trim Board

Window head (frame) off sub-floor, typical

W06 @ 108.25"

W02 @ 86.25"

8" Corner Boards

D06-3068

1 x 4 Shadow Board, Typ.
1 x 8 Rake, Typ.
1 x 8 Frieze Board

5" Corner Boards

2 1/2" Window trim on casement and awning windows

Structural column with decorative cover

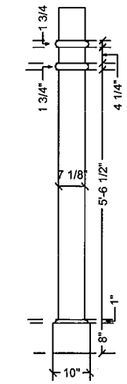
3 1/2" Window Trim on double hung windows

Top of Ridge
23'-9"
25'-9"
Top of 1st Floor Sub-Floor
2'-0"
Grade

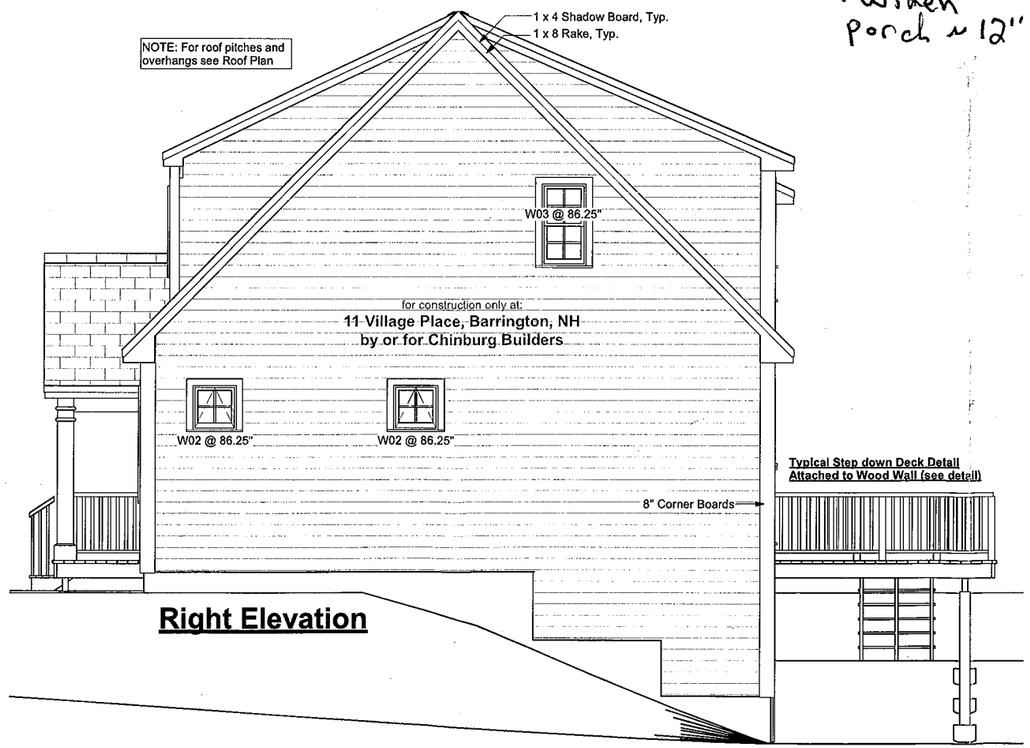
Not shown - number of steps may vary - handrail may be required in jurisdictions that have not adopted IRC 2009

## Front Elevation

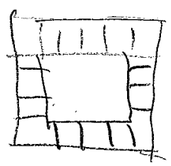
Note - Actual grade level may vary. Where zoning height restrictions apply, builder shall verify conformance. Manual markup of drawings to demonstrate compliance is recommended.




## Column Detail




## Right Elevation



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