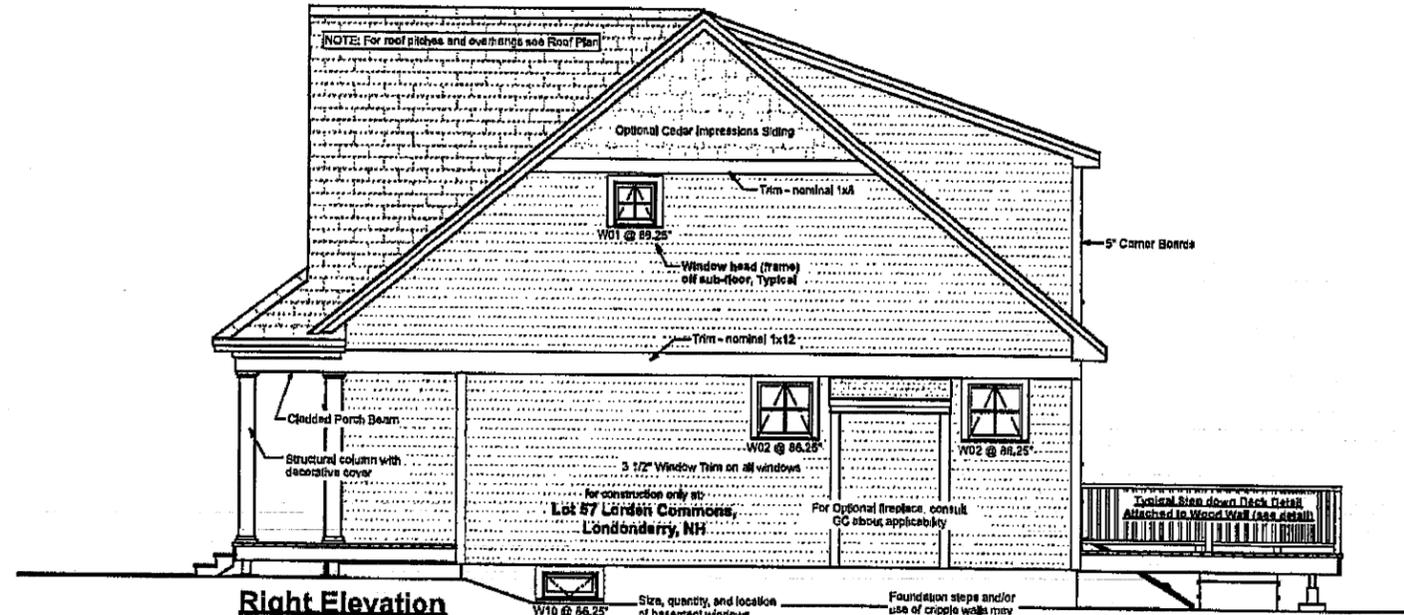
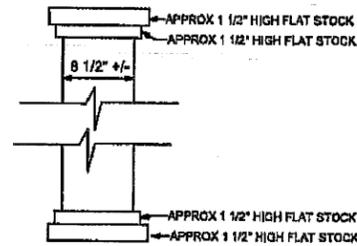


Front Elevation

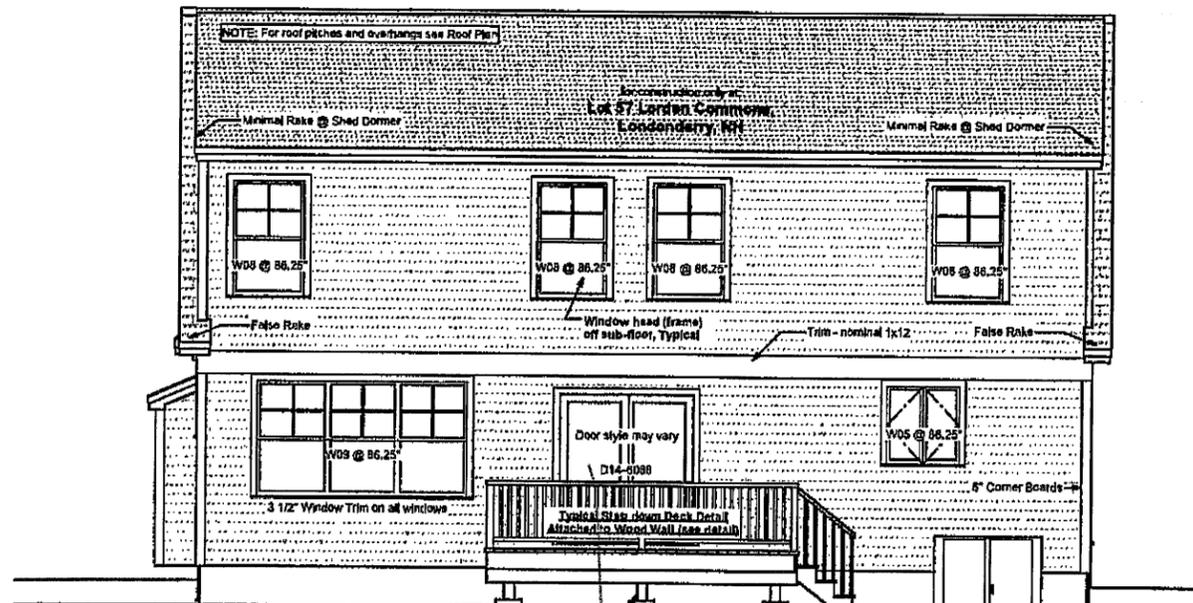
flip house



Right Elevation



Column detail



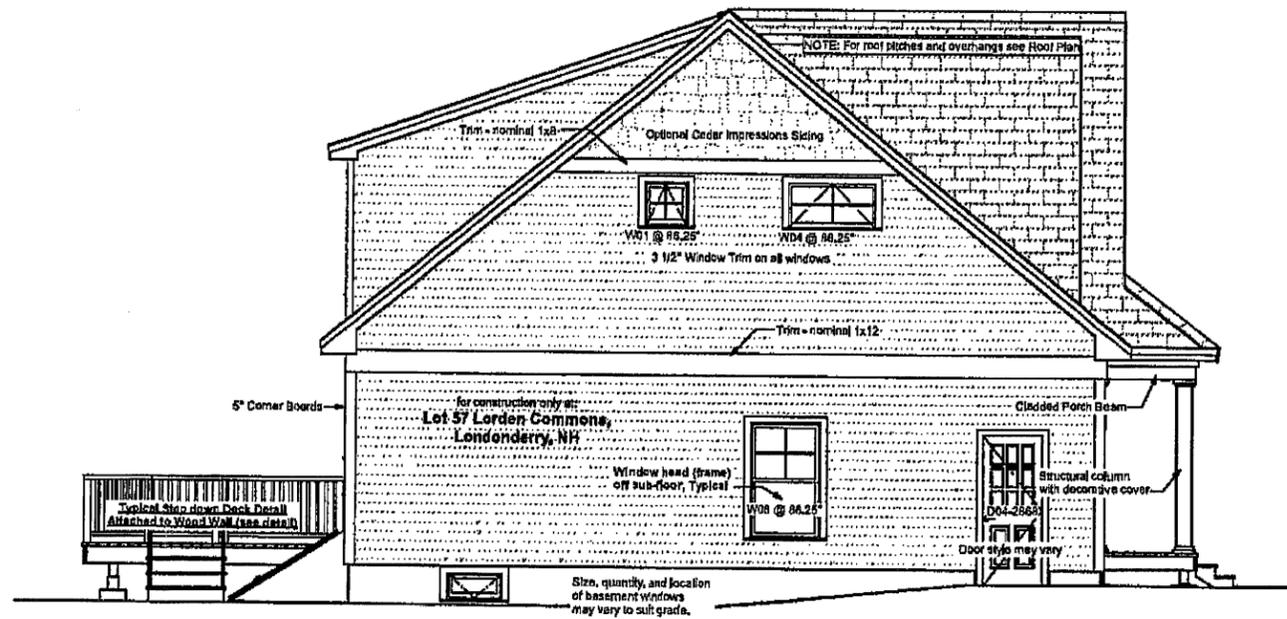
Rear Elevation

6x6 PT Posts shown under Deck & Porch, can be 4x4 PT for posts less than 48" in height. Consult Arform for decks higher than 8' off grade.

Foundation steps and/or use of cripple walls may be added to suit grade.

Basement egress is required, bulkhead option shown. Builder may relocate bulkhead to suit building site and may substitute other code conforming egress, such as window with egress window well or walk-out door if grading allows.

ceiling in slider



Foundation steps and/or use of cripple walls may vary to suit grade.

Your use of these drawings constitutes an acceptance of responsibility as outlined in "Dear Code Officer" on the first page of these drawings, and on our web site: <http://www.artformplans.com/terms-conditions>

If you have any concerns or questions, please feel free to contact us. We are happy to clarify matters that fall within our scope, as listed on the first page. We can also often provide affordable support for issues that are your responsibility, such as energy design/calcs, or additional detailing.



Dear Code Official:

These are pre-designed home plans, designed to bring good design and construction drawings to people of more affordable prices and faster time frames than traditional architecture. Where traditional "custom" home plans demand all responsibility, we split responsibility between us (Artform) and the owner. We encourage the future homeowner to use a quality builder who can assist them with this. They are responsible for thermal and moisture decisions and for meeting code in ways that a quality builder should know without an explicit call. We are responsible for things that are directly related to the design and/or that a quality builder couldn't reasonably figure out on their own - specifically the following IRC 2015 code sections:

- 1 - Room sizes (Section R304)
- 2 - Ceiling Height (Section R305)
- 3 - Floor space & ceiling height at Toilet, Bath and Shower Spaces (Section R307)
- 4 - Hallway widths (Section R311.4)
- 5 - Door types & sizes (Section R311.2)
- 6 - Floor space in front of doors (Section R311.3)
- 7 - Stair width - The stairs in our designs will be a minimum of 36" wide measured wall surface to wall surface, allowing compliance with R311.7.1 with installation of corner handrail.
- 8 - Stair tread and riser (Section R311.7.5)
- 9 - Landings for stairways (Section R311.7.6)
- 10 - Emergency Escape Window Size (Section R310.2.1, R310.2.2, R310.2.3 and R310.2.4). Egress windows may require manufacturer's emergency escape window hardware. We will also comply with NFPA 101.
- 12 - Structural Floor Framing (Section R501.3) Where dimensional lumber is shown, framing members will be sized according to the section of the code. Where engineered wood products are shown, those framing members will be sized according to the manufacturer's tables for loads and spans, or sizes will have been calculated using manufacturer's published material properties.
- 13 - See structural sheets for additional notes.

The builder can and should add information to this set, such as: check a hand mirror of our genetic thermal and moisture section, additional information about doors and windows (such as air rating, tempering, etc), foundation drops relative to site grading, and sometimes their chosen method of basement areas. These drawings are not intended to be used without this additional information.

Where a connection address is shown on the drawings, it is for copyright control only. We have not inspected the site, except the design is site specific (such as where it says so in the drawings) or site or region specific climate conditions. Homeowner and/or Builder shall be responsible for thermal and moisture control strategies, materials choices and compliance with applicable laws and ordinances.

Please do feel free to call us with any questions. We can and do update our drawings and standard notes to address specific concerns, especially in jurisdictions where our climate will be building again.

With these drawings a copyright license is granted for a single construction only at Lot 57 Londen Commons, Londonderry, NH. This is a License to Build, and does not include a License to Modify, except as required to conform to building code or full building owner responsibilities.

Permissible uses of these drawings:  
 1. All activities associated with construction of the listed address.  
 2. Pricing or preliminary discussions with zoning or code officials for construction at other addresses, with prior notification to Artform Home Plans - just use the Contact form on the web site - <http://www.artformhomeplans.com/contact-us>.

Not Permissible:  
 1. Application for any permits or other approval for construction at a property other than the listed address, including but not limited to construction, zoning, conservation, or design review.  
 2. Modification of the basic design.

Use of these drawings outside these parameters is a violation of federal copyright law, punishable by both civil action and criminal prosecution, as it is stealing or enabling theft of "intellectual property". Making modifications to plans, even significant ones, does not change this, under copyright law, that's considered "derivative works".

We can provide drawings suitable for use in obtaining design or zoning approval without creating the expense of a full set of construction drawings. Contact us for more information.

These drawings are intended for use by an experienced professional builder in responsible charge of the entire project, including but not limited to mechanical, electrical and artwork. Any additional adaptations for these trades or other trades must be determined prior to start of construction. Contact Artform for any adjustments needed.

Your use of these drawings constitutes an acceptance of responsibility as outlined in "Dear Code Official" on the first page of these drawings, and on our web site: <http://www.artformhomeplans.com/terms-conditions.html>

If you have any concerns or questions, please feel free to contact us. We are happy to clarify matters that fall within our scope, as listed on the first page. We can also often provide affordable support for issues that are your responsibility, such as energy design/calcs, or additional detailing.

- Wall Types**  
 Exterior walls 2x6 wood stud  
 Interior walls 2x4 wood stud, unless noted otherwise
- Wall Keys**  
 2x wood stud on the flat  
 2x6 wood stud wall, 16" oc  
 Note: 2x4 wood stud wall, 16" oc unless otherwise noted
- Key Notes**  
 30" x 22" Minimum Access Panel - (included) (R0 34" x 28")  
 Field locate for plumbing or mechanical  
 Verify size of fixture or appliance. Adjust dimensions to accommodate.  
 Center - Place door or window centered on wall
- Smoke Detector (SD) Heat Detector (HD)  
 Carbon Monoxide Detector (CO)

- Dimensions**  
 1. Dimensions are to face of stud, unless noted otherwise.  
 2. Closets are 24" clear inside, unless dimensioned otherwise.

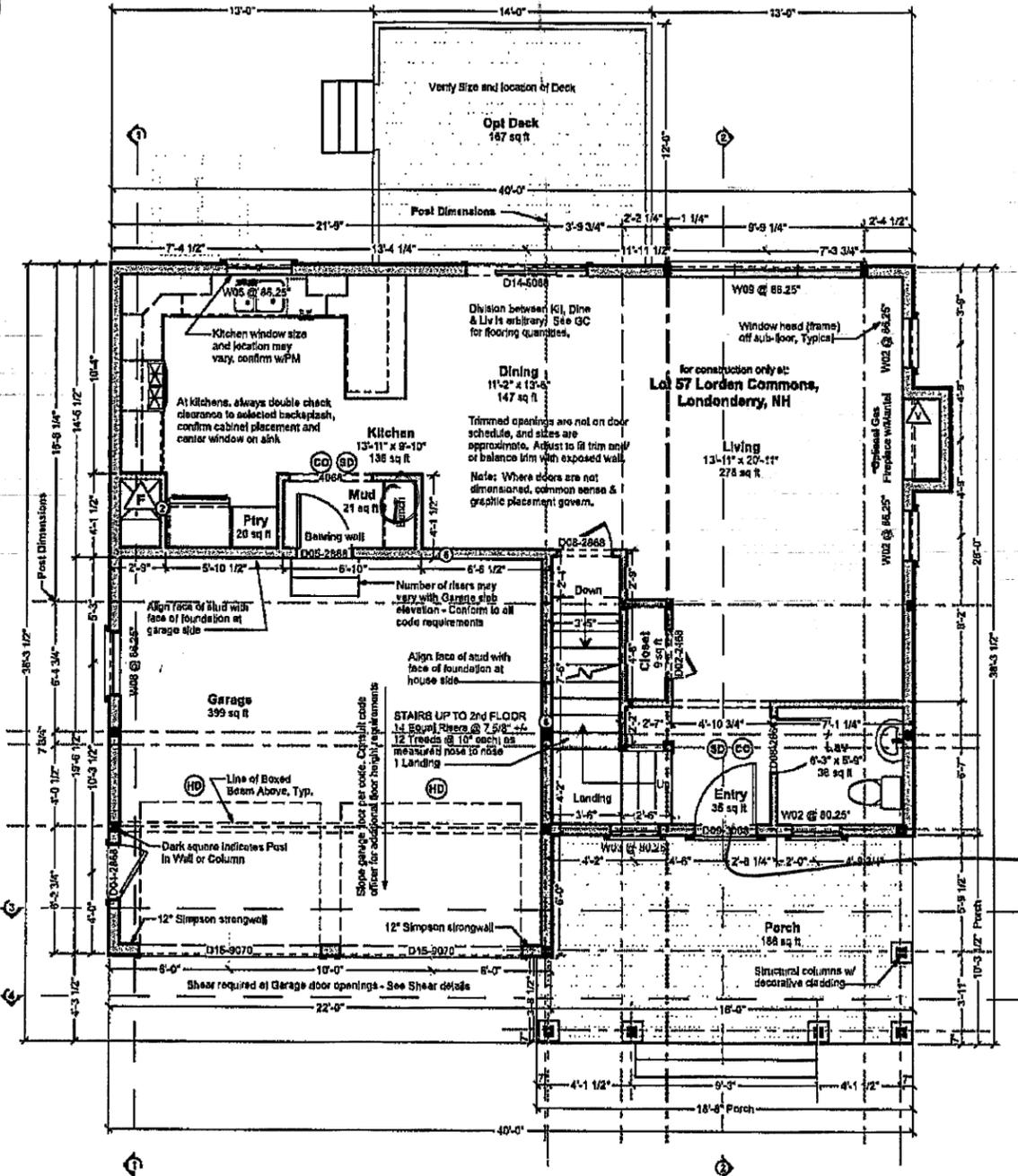
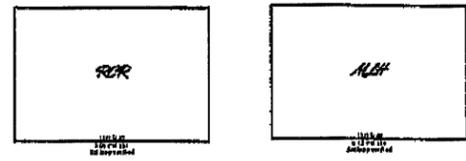
- Square Footages**  
 1. Sq ft numbers are interior to room for use in calculating finishes.  
 2. Closets and fixtures not subtracted.  
 3. Add for doorways when floor finishes run through.

- Notes**
1. Exterior walls 2x6 wood stud @ 16" oc. Provide insulation & vapor barrier conforming to state or local codes. Interior sheathing 1/2" gypsum board. Provide 1/2" exterior rated sheathing, house wrap with drainage plane and siding. Provide step flashing at walls adjacent to roof planes.
  2. Interior walls 2x4 wood stud @ 16" oc, unless noted otherwise.
  3. Roof - see structural for rafter sizes. Provide 5/8" exterior rated roof sheathing 15# roofing felt, ice & water shield at eaves and valleys, aluminum drip edge and asphalt shingles or metal roofing. Structure not calculated to support slate or tile. Flash all penetrations. Provide cricket at any added chimneys.
  4. Provide roof and/or ceiling insulation per code. Provide soffit and ridge vents where required for insulation strategy. (Verify with code officer - closed cell spray foam or dense-pack cellulose installed at rafters and filling ridge and eaves generally contra-indicates venting, both insulation always requires venting).
  5. Provide smoke, carbon monoxide, and heat detectors where shown and where required by code and where required by local authorities.
  6. Provide fire resistive materials where required by code, including but not limited to, firestopping all penetrations, 5/8" Type X drywall on walls and ceilings to separate garages (where garage present in design) from dwelling, and separation of dwellings (where more than one dwelling present in design), and protection of flammable insulation materials. See Table R308.6 IRC 2015.
  7. Compliance with code requirements for room size and clearances, (hallway widths, room sizes, etc) assume 1/2" drywall on walls and 1/2" drywall on 3/4" sheathing on ceilings. Adjust as required if materials differ.
  8. Shear is only called out where Continuous Portal Frame will not suffice. See Section R602.10.4 (Pages 177 - 189) of the IRC 2015.

- General Design Notes**
1. Builder shall consult and follow the building code and other regulations in effect for the building site for all construction details not shown in these drawings. Requirements described here are specific to this design and/or are provided as reference. Additional building code or local requirements may apply.
  2. Builder shall maintain a safe worksite, including but not limited to, provision of temporary supports where appropriate and adherence to applicable safety standards.
  3. Design is based on the snow load listed on the framing plans, 100 mph basic wind speed, Exposure type B, soil bearing capacity of 2000 pcf, and Seismic Category C, unless otherwise noted on the framing plans. Builder shall promptly inform Artform Home Plans of differing conditions.

**NOTE TO HOMEOWNER:**  
 These construction plans ARE NOT a part of your construction contract with your builder, unless your P&S agreement specifies that they are. Your P&S and all attachments (like the builder's specifications or a review set of the design) describe what you and your builder agreed the builder would build for you. We here at Artform Home Plans do not have the authority to obligate your builder to provide you with anything but the best plans and our labor. The contract between you and your builder governs.

① Remove Bench  
 3'6" clearance  
 ② 1/2 BATH - new size - 5'6" inside wall to door  
 ③ Remove opt from FP  
 ④ 12 x 14 Deck



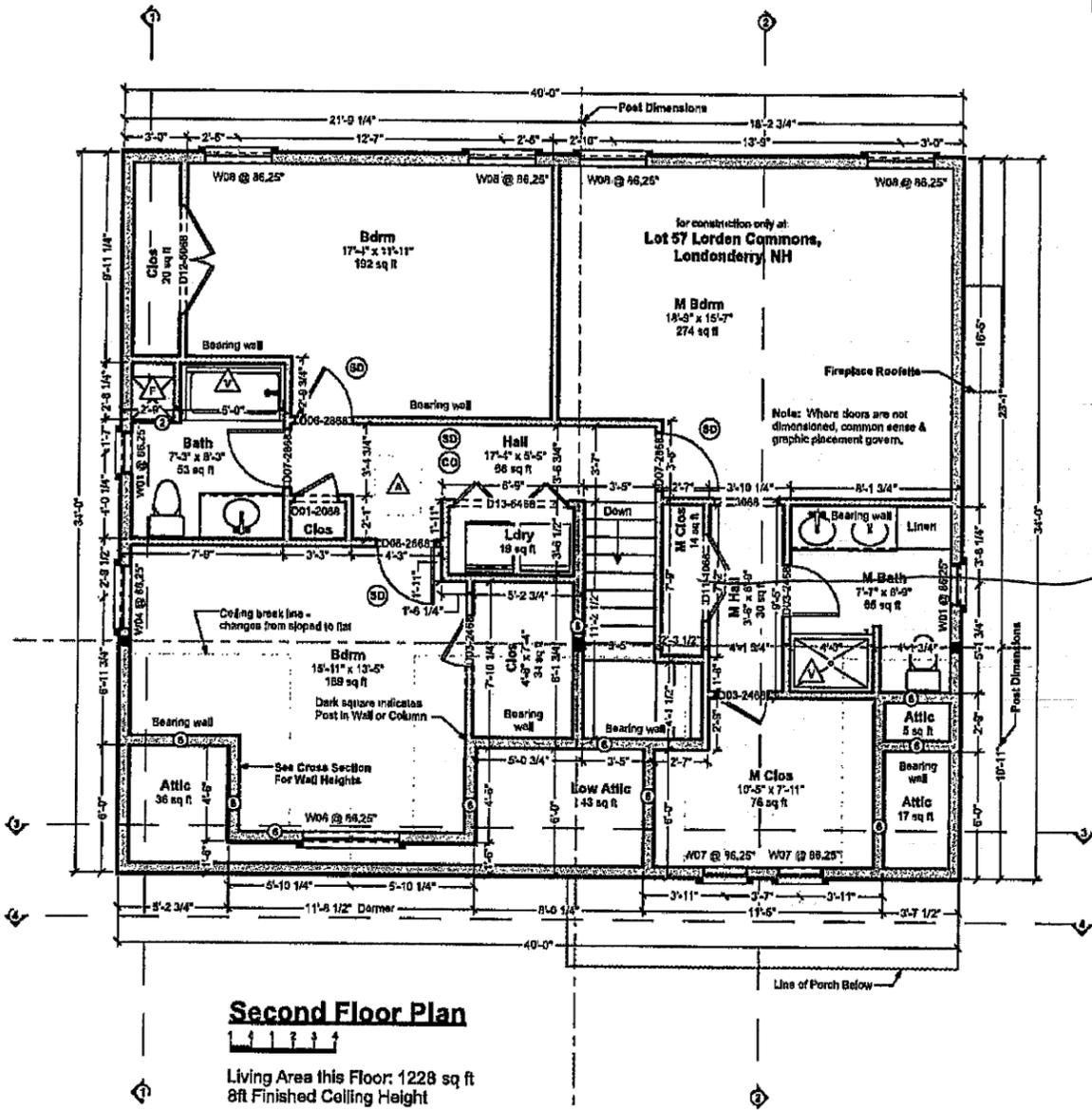
- Conform to all code requirements, including but not limited to:
- 1 - Provide gypsum board at walls and/or ceilings per code for separation of garage from living areas.
  - 2 - Provide fire rated and/or self-closing doors per code for separation of garage from living areas.
  - 3 - Protect duct and other penetrations per code for separation of garage from living areas.

**NOTE TO HOMEOWNER:**  
 These construction plans ARE NOT a part of your construction contract with your builder, unless your P&S agreement specifies that they are. Your P&S and all attachments (like the builder's specifications or a review set of the design) describe what you and your builder agreed the builder would build for you. We here at Artform Home Plans do not have the authority to obligate your builder to provide you with anything but the best plans and our labor. The contract between you and your builder governs.

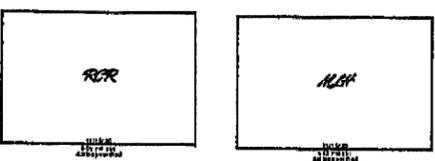
**First Floor Plan**  
 Living Area this Floor: 833 sq ft  
 8ft Finished Ceiling Height

center door on new footer size

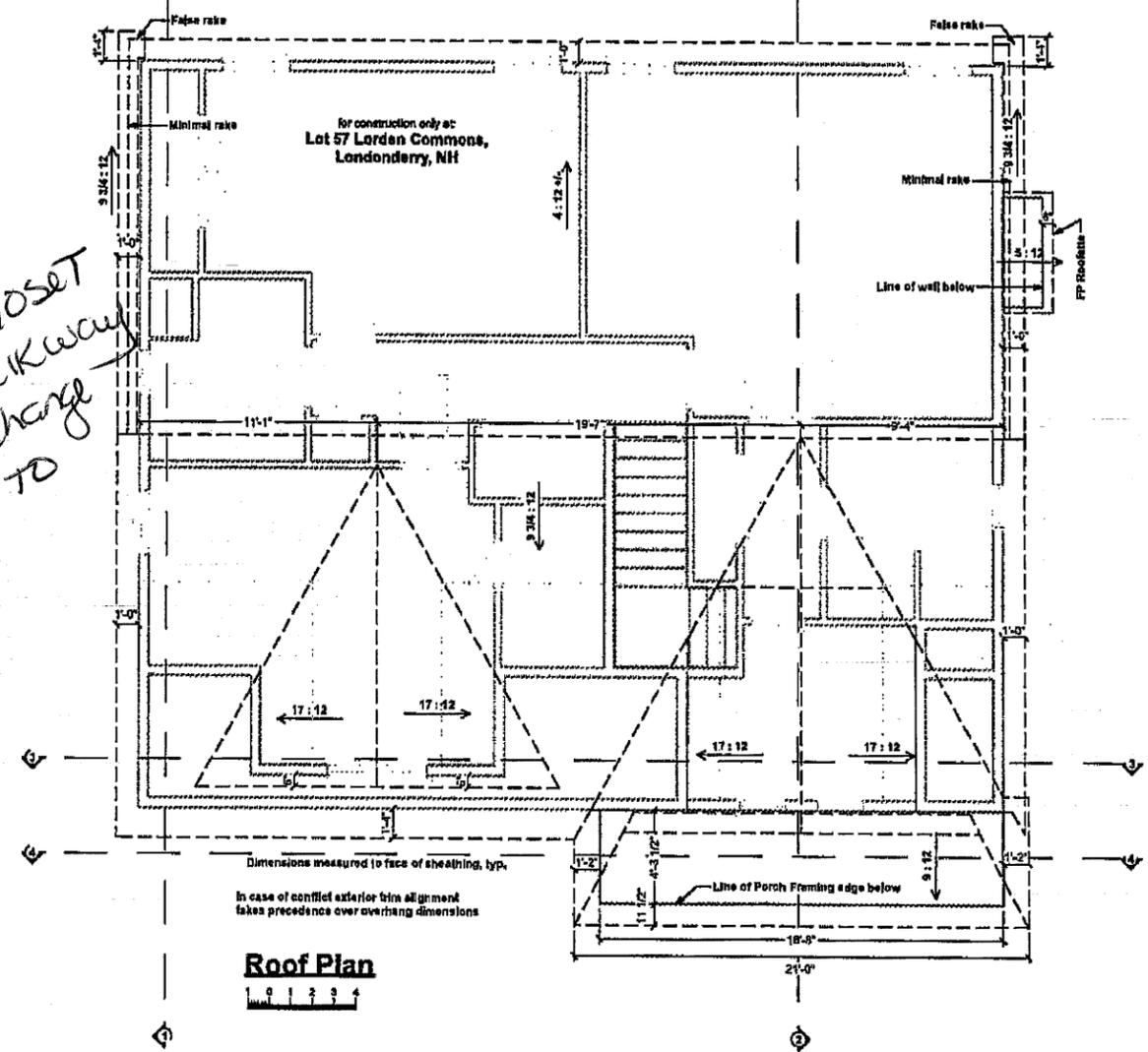
Flip - garage on right



**Second Floor Plan**  
Living Area this Floor: 1228 sq ft  
8ft Finished Ceiling Height



*Remove closet  
more walkway  
over + change  
vanity to  
7'*



**Roof Plan**

- Door & Window Notes**
1. Rated Doors: Provide fire rated and/or self-closing doors where required by local codes or local authorities.
  2. Trimmed Openings: Trimmed openings not shown on schedule. See Plan.
  3. Window Tempering: Provide tempered windows where required by local codes or local authorities. Tempering column provided here for convenience. Windows have not been reviewed for tempering requirements.
  4. Window RD's: 1/4" or 1/2" on each of 4 sides allowed for window RD's, typical. Review framing size vs RD size. Adjust per manufacturer's requirements and/or builder preference.
  5. Egress Windows: Provide minimum one door or window meeting egress requirements in basement. In each sleeping room, in each potential sleeping room, and other locations required by local code, in sizes required by local code. Note that casement windows coded by manufacturer as meeting IRC 2015 egress requirements typically need to be ordered with specific hardware. Emergency Escape Window Sizes (Section R310.2.1, R310.2.2, R310.2.3 and R310.2.4). Will also comply with NFPA 101.
  6. Basement Windows: Add basement windows as required to meet state or local code requirements, including but not limited to egress and light/ventilation.
  7. Skylights: Skylights are not shown on this schedule, but may be required. Consult builder and/or see floor plan.
  8. Minimum window sill height: IRC 2015 requires that floor window sills be 24" from floor. Confirm bottom of window opening relative to frame. Conform to IRC 2015 R312.1.

NUMBER	QTY	FLOOR	SIZE	DOOR SCHEDULE	TYPE	COMMENTS
D01	1	2	2098 L IN	24	80	HINGED
D02	1	1	2488 L IN	28	80	HINGED
D03	3	2	2388 R IN	28	80	HINGED
D04	1	1	2888 R EX	32	80	HINGED
D05	1	1	2388 L EX	32	80	HINGED
D06	2	2	2388 L IN	32	80	HINGED
D07	2	2	2688 R IN	32	80	HINGED
D08	2	1	2698 L IN	32	80	HINGED
D09	1	0	3068 R EX	36	80	HINGED
D10	1	2	3068 R EX	36	80	HINGED
D11	1	2	4068 L/R IN	48	80	DOUBLE HINGED
D12	1	2	5068 L/R IN	60	80	DOUBLE HINGED
D13	1	2	5488 L/R	64	80	4 DR. BIFOLD
D14	1	1	6068 L EX	72	80	SLIDER
D15	2	1	1076	108	64	GARAGE

NUMBER	QTY	WIDTH	HEIGHT	IRG	TEMPERED	DESCRIPTION	COMMENTS
W01	2	23 1/2"	23 1/2"	24" X 24"		SINGLE AWNING	
W02	3	23 1/2"	23 1/2"	30" X 30"		SINGLE AWNING	
W03	1	23 1/2"	23 1/2"	30" X 30"	YES	SINGLE AWNING	
W04	1	35 1/2"	23 1/2"	30" X 24"		SINGLE AWNING	
W05	1	39"	41 1/2"	30 1/2" X 42"		DOUBLE CASEMENT-LH/RH	CONFIRM SIZE & LOCATION W/PM
W06	1	55"	51 1/2"	55 1/2" X 52"	YES	DOUBLE CASEMENT-LH/RH	
W07	2	24 1/2"	35 1/2"	26" X 36"		DOUBLE HUNG	
W08	6	38"	51 1/2"	38 1/2" X 42"	YES	DOUBLE HUNG	
W09	1	11 1/4"	81 1/2"	11 1/4" X 81 1/2"		4X DR	
W10	2	36"	14"	30 1/2" X 14 1/2"		SINGLE HOPPER	

Your use of these drawings constitutes an acceptance of responsibility as outlined in "Owner Code of Ethics" on the first page of these drawings, and on our web site: <http://www.artformhomeplans.com/OwnerCodeofEthics.aspx>

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**AR Artform Home Plans**  
 ARPD Design # 418,124.dwg  
 1011-0220 Ad Form Attachments 06.23.11.0569  
 Sweet Peaboo  
 Lot 57 Lorden Commons  
 Londonderry, NH

2

1/4" = 1'0" unless noted otherwise. Plot @ 1:1  
 Not created on: 6/23/2010, drawn by: JCL





Porch, can be 4x4 PT for posts less than 48" in height. Consult Artform for decks higher than 8 ft off grade.

to frost with 8" Sonotube, Typ.

Verify Size and Location of Deck

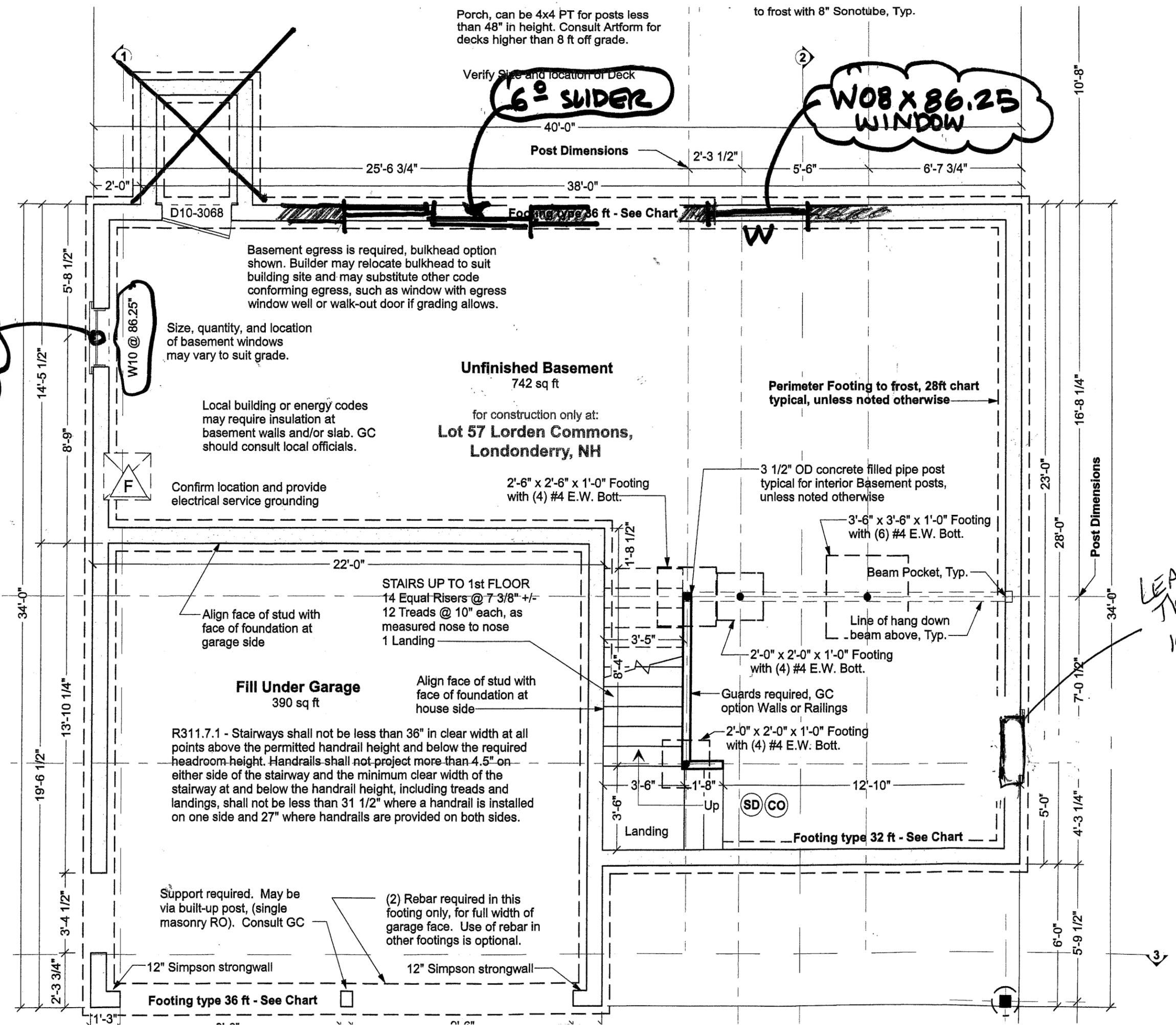
**6" SLIDER**

**W08 X 86.25 WINDOW**

**MAKE THIS A W08 X 86.25 WINDOW**

Windows in garage doors

**ROBICER/HARBY**  
**LOT 86**  
**11/17/20**



Basement egress is required, bulkhead option shown. Builder may relocate bulkhead to suit building site and may substitute other code conforming egress, such as window with egress window well or walk-out door if grading allows.

Size, quantity, and location of basement windows may vary to suit grade.

Local building or energy codes may require insulation at basement walls and/or slab. GC should consult local officials.

Confirm location and provide electrical service grounding

**Unfinished Basement**  
742 sq ft  
for construction only at:  
**Lot 57 Lorden Commons,**  
**Londonderry, NH**

2'-6" x 2'-6" x 1'-0" Footing with (4) #4 E.W. Bott.

3 1/2" OD concrete filled pipe post typical for interior Basement posts, unless noted otherwise

3'-6" x 3'-6" x 1'-0" Footing with (6) #4 E.W. Bott.

Beam Pocket, Typ.

Line of hang down beam above, Typ.

2'-0" x 2'-0" x 1'-0" Footing with (4) #4 E.W. Bott.

Guards required, GC option Walls or Railings

2'-0" x 2'-0" x 1'-0" Footing with (4) #4 E.W. Bott.

SD

CO

Footing type 32 ft - See Chart

Support required. May be via built-up post, (single masonry RO). Consult GC

(2) Rebar required in this footing only, for full width of garage face. Use of rebar in other footings is optional.

12" Simpson strongwall

12" Simpson strongwall

Footing type 36 ft - See Chart

LEAVE THIS IN