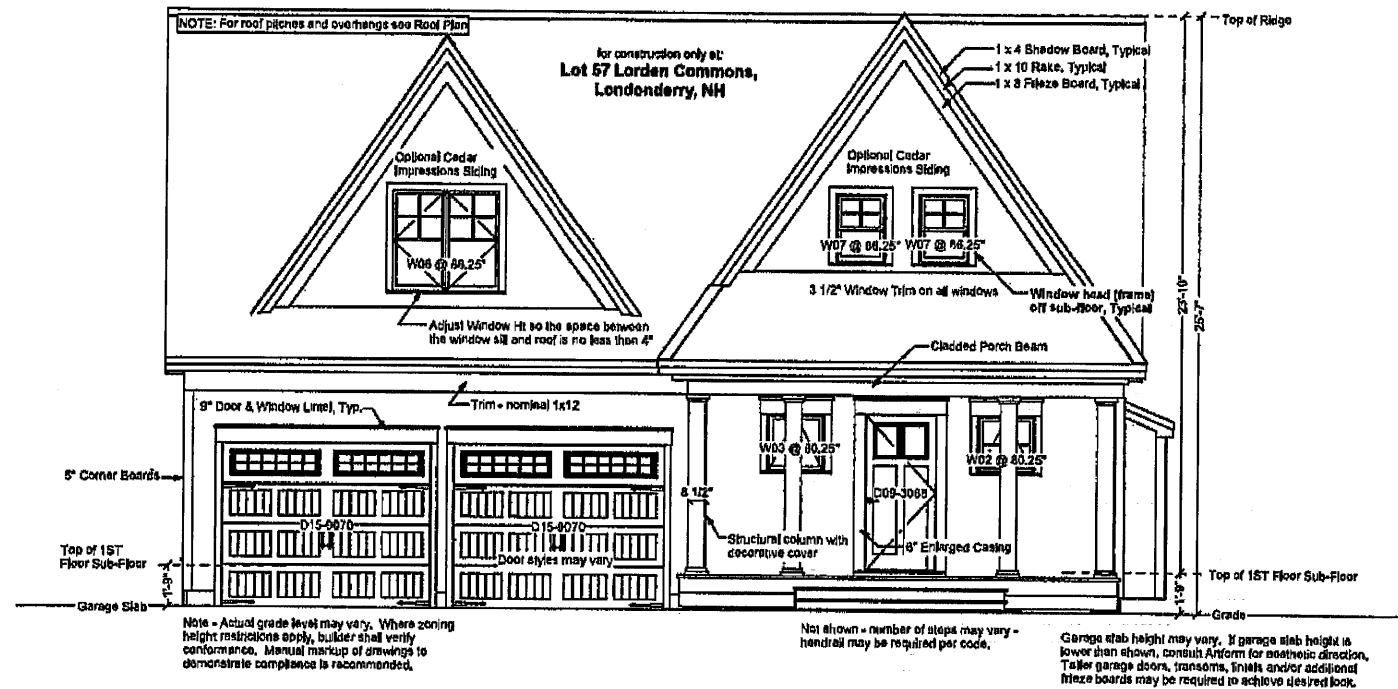
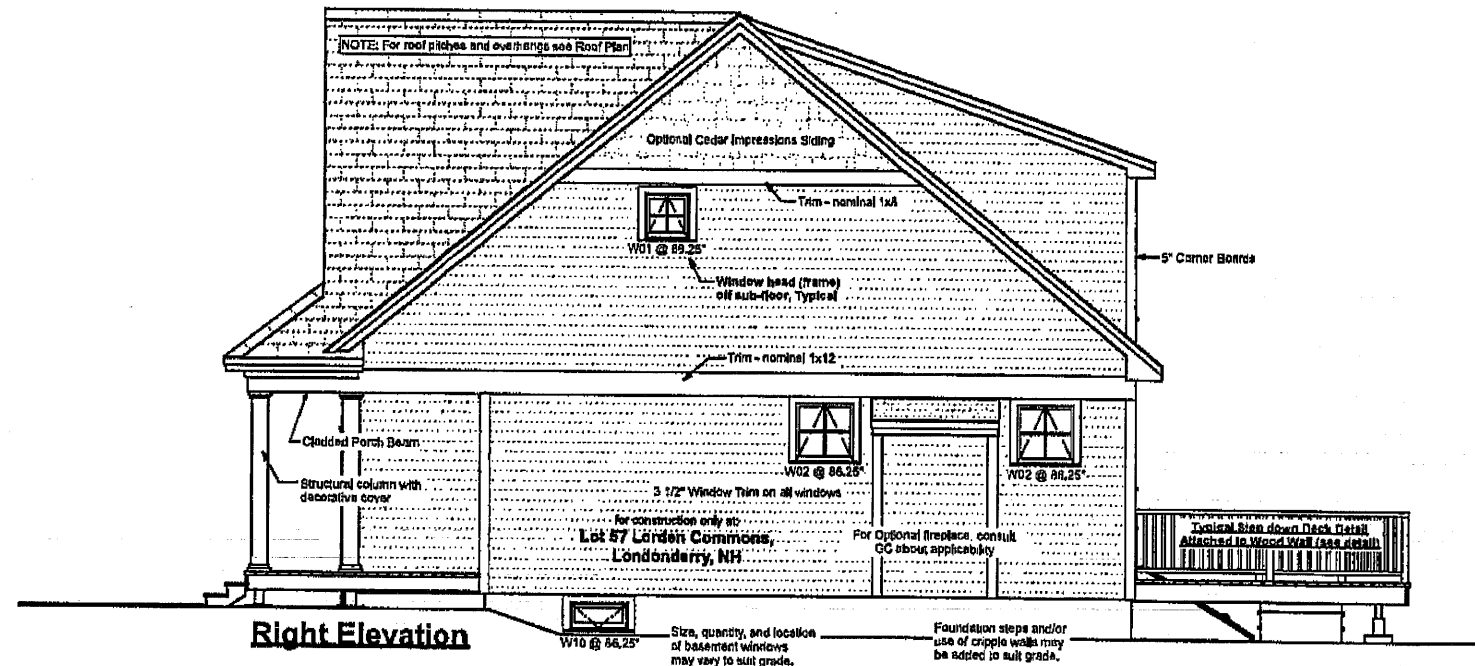


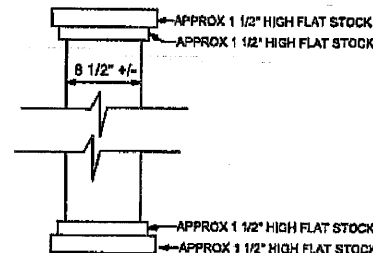


Front Elevation

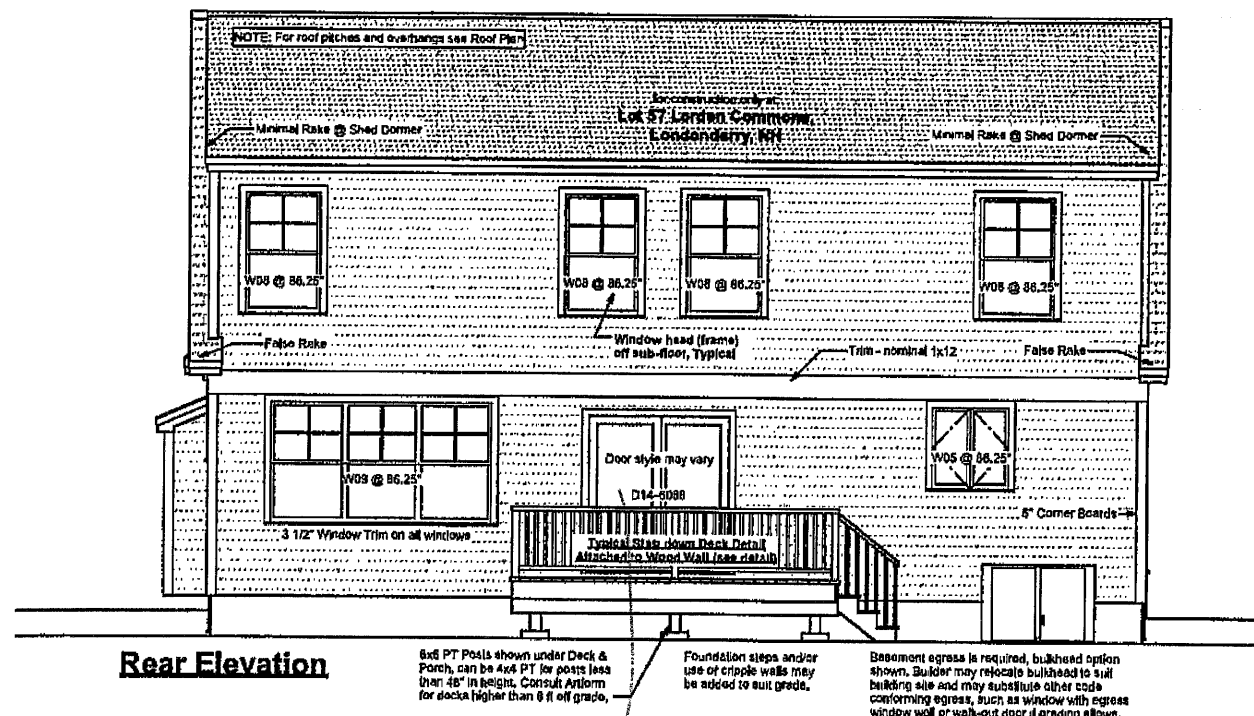
flip house



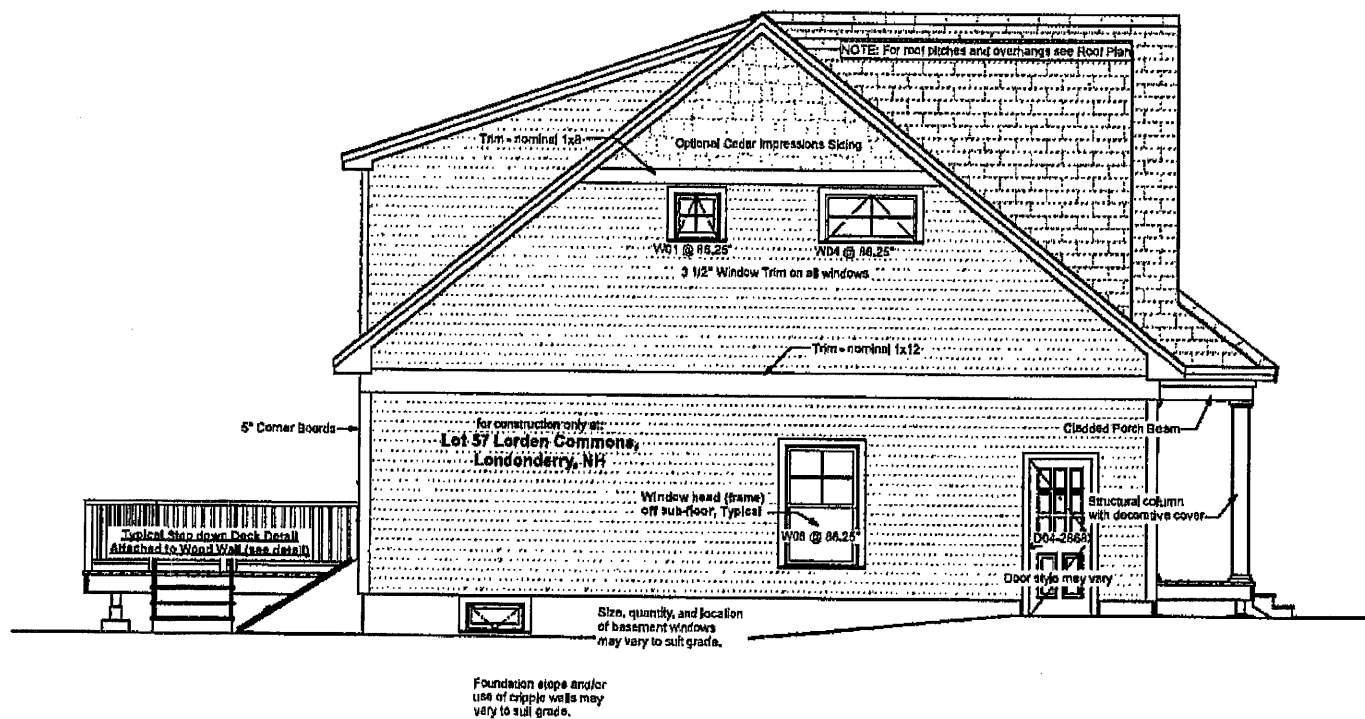
Right Elevation



Column detail



Rear Elevation



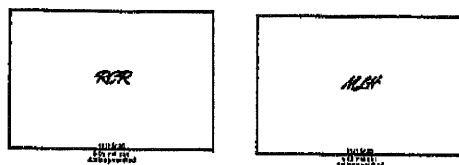
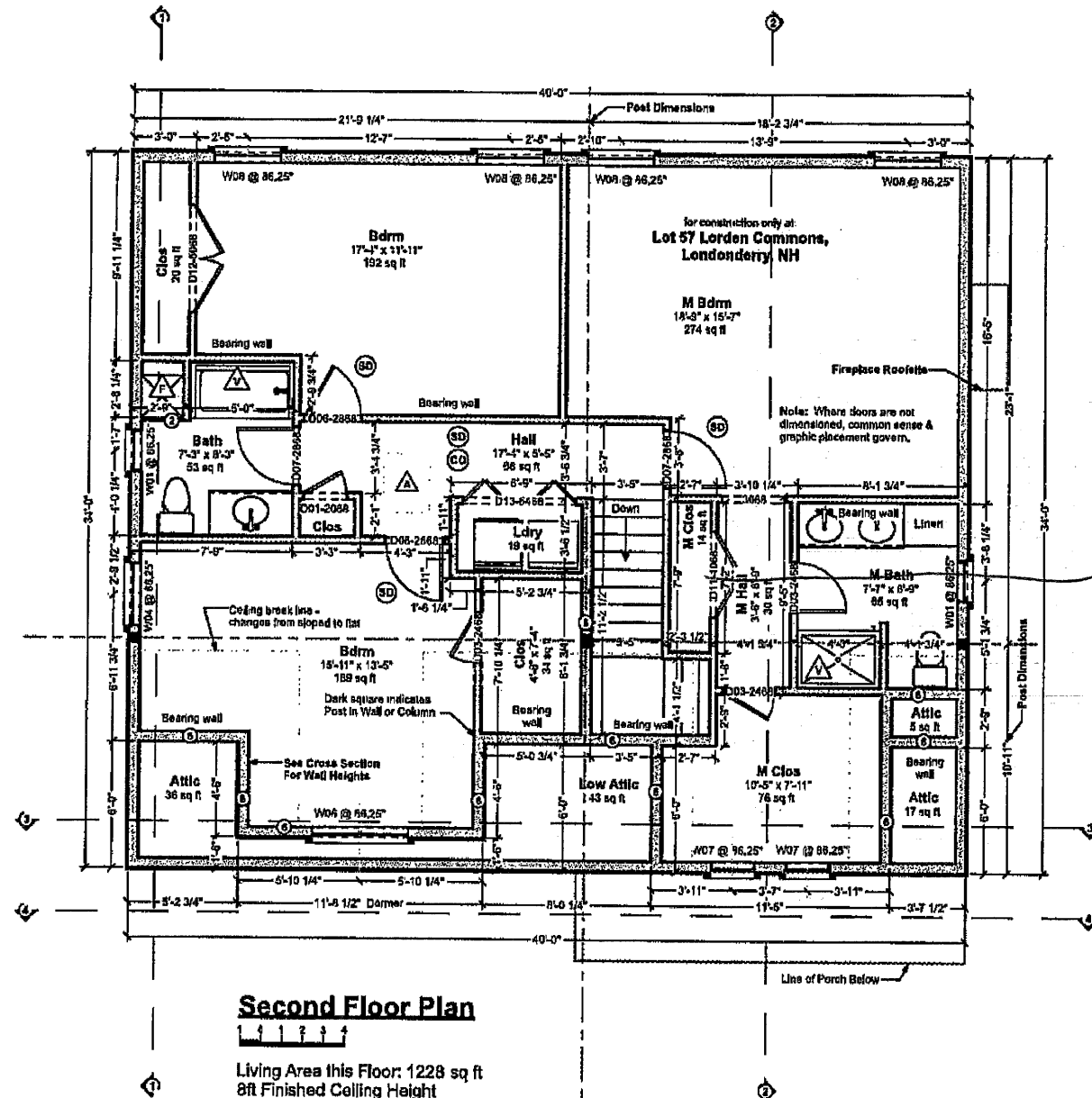
Your use of these drawings constitutes an acceptance of responsibility as outlined in "Dear Code Officer" on the first page of these drawings, and on our web site: www.artformhomeplans.com/termsandconditions.htm

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Artform Home Plans
Artform Design # 418.124.v6.ctb
© 2011-2020 Artform Architecture 403.431.9589
Sweet Peekaboo
Lot 57 Lorden Commons
Londonderry, NH

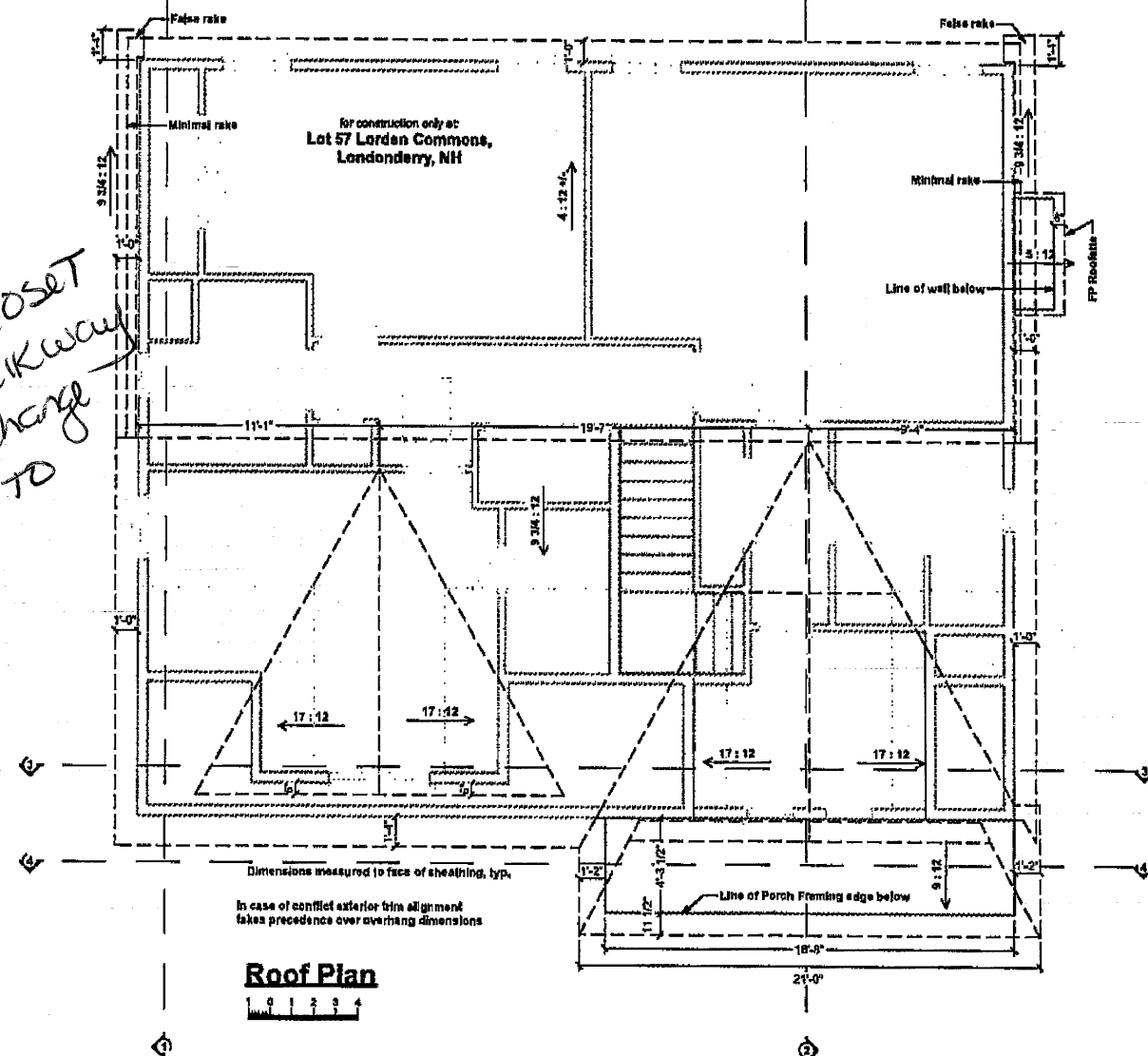
1/2" = 1'-0" unless noted otherwise / Part of 1.1

4



JK

Remove closet
more walkway
over + change
vanity to
7'



Door & Window Notes

1. Rated Doors: Provide fire rated and/or self-closing doors where required by local codes or local authorities.
2. Trimmed Openings: Trimmed openings not shown on schedule. See Plan.
3. Window Tempering: Provide tempered windows where required by local codes or local authorities. Tempering schedule provided here for convenience. Windows have not been reviewed for tempering requirements.
4. Window R.O.'s: 1/4" or 1/2" on each of 4 sides allowed for window R.O.'s, typical. Review framing size vs R.O. size. Adjust per manufacturer's requirements and/or builder preference.
5. Egress Windows: Provide minimum one door or window meeting egress requirements in basement, in each sleeping room, in each potential sleeping room, and other locations required by local code, in sizes required by local code. Note that casement windows coated by manufacturer as meeting IRC 2015 egress requirements typically need to be ordered with specific hardware. Emergency Escape Window Sizes (Section R310.2.1, R310.2.2, R310.2.3 and R310.2.4). Will also comply with NFPA 101.
6. Basement Windows: Add basement windows as required to meet state or local code requirements, including but not limited to egress and light/ventilation.
7. Skylights: Skylights are not shown on this schedule, but may be required. Consult builder and/or see floor plan.
8. Minimum window sill heights: IRC 2015 requires that floor window sills be 24" from floor. Confirm bottom of window opening relative to frame. Conform to IRC 2015 R312.1.

NUMBER	QTY	FLOOR	SIZE	DOOR SCHEDULE	TYPE	COMMENTS
D01	1	2	2098 L IN	24" x 80"	HINGED	
D02	1	1	2488 L IN	28" x 80"	HINGED	
D03	3	2	2388 R IN	28" x 80"	HINGED	
D04	1	1	2888 R EX	32" x 80"	HINGED	
D05	1	1	2888 L EX	32" x 80"	HINGED	
D06	2	2	2388 L IN	28" x 80"	HINGED	
D07	2	2	2688 R IN	32" x 80"	HINGED	
D08	2	1	2898 L IN	32" x 80"	HINGED	
D09	1	0	3068 R EX	36" x 80"	HINGED	
D10	1	2	4068 L R IN	48" x 80"	DOUBLE HINGED	BULKHEAD DOOR
D12	1	2	5068 L R IN	60" x 80"	DOUBLE HINGED	
D13	1	2	5488 L R	64" x 80"	DOUBLE HINGED	
D14	1	1	6068 L EX	72" x 80"	SLIDER	
D15	2	1	1070	108" x 64"	GARAGE	

NUMBER	QTY	WIDTH	HEIGHT	R/O	EGRESS	TEMPERED	DESCRIPTION	COMMENTS
W01	2	23 1/2"	23 1/2"	24" x 24"			SINGLE AWNING	
W02	3	23 1/2"	23 1/2"	30" x 30"			SINGLE AWNING	
W03	1	23 1/2"	23 1/2"	30" x 30"	YES		SINGLE AWNING	
W04	1	35 1/2"	23 1/2"	36" x 24"			SINGLE AWNING	
W05	1	35"	41 1/2"	38 1/2" x 42"			DOUBLE CASEMENT-LH/RH	CONFIRM SIZE & LOCATION W/PM
W06	1	55"	51 1/2"	55 1/2" x 52"	YES		DOUBLE CASEMENT-LH/RH	
W07	2	23 1/2"	35 1/2"	26" x 36"			DOUBLE HUNG	
W08	5	38"	51 1/2"	38 1/2" x 42"	YES		DOUBLE HUNG	
W09	1	11 1/2"	51 1/2"	11 1/2" x 42"			SLIDER	
W10	2	36"	14"	30 1/2" x 14 1/2"			SINGLE HOPPER	

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Artform Home Plans

APR Design # 416,124,126 GL

1011-2030 Ad Form Architecture 06/23/21-2020

Sweet Peakboo

Lot 57 Lorden Commons

Londonderry, NH

1/4" = 1'0" unless noted otherwise / Print @ 1:1
Not scaled on: 6/22/2020, dwg by JCI

2

Construction

TOTAL TILE AREA
MUD ROOM - 23 SF
ENTRY/POWDER - 72 SF
+ 100 SF

SWEET PEELABOO
ROCK/SEK/HARDY
LOT 86

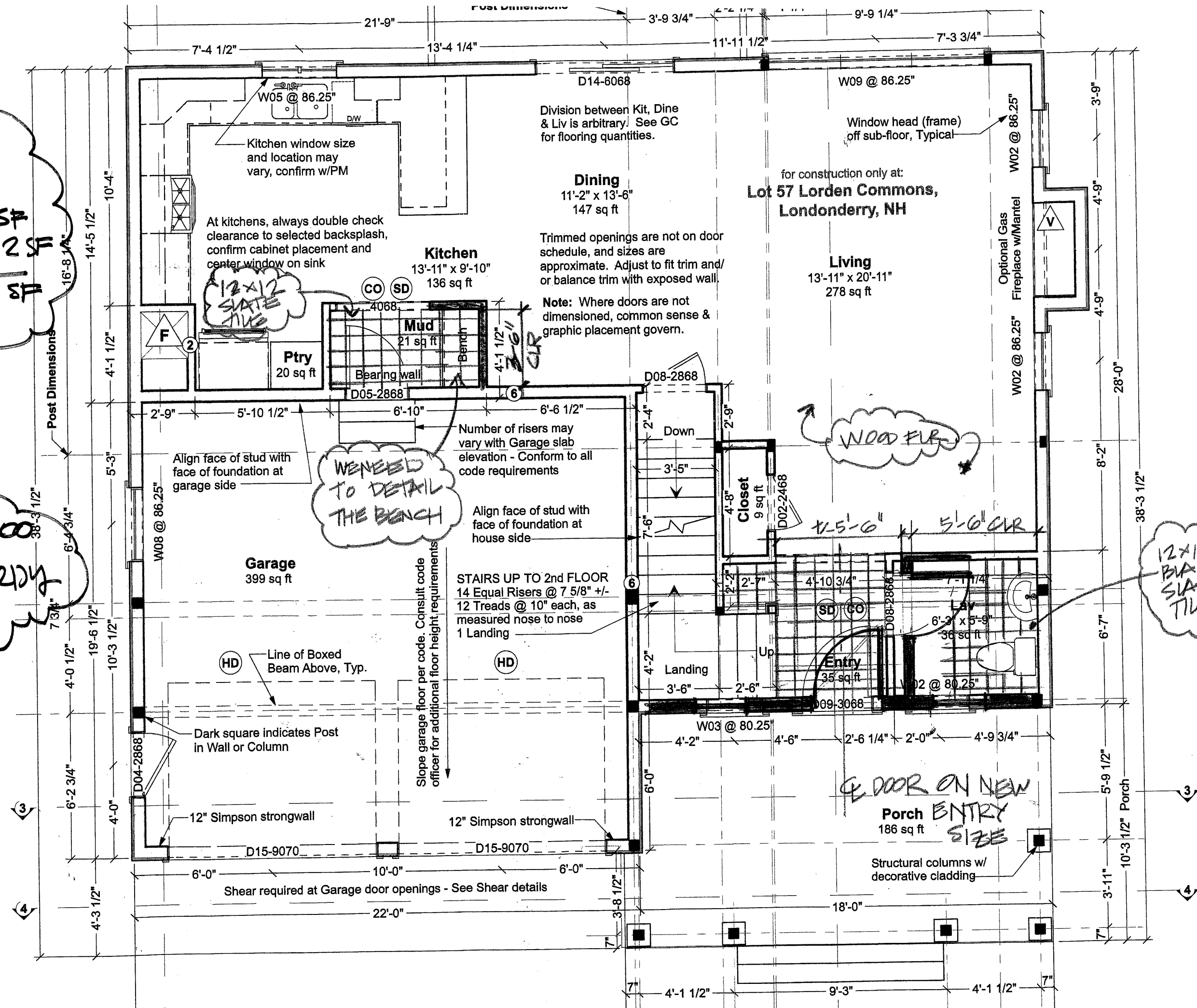
all code requirements, including but not

ypsum board at walls and/or ceilings
 separation of garage from living areas.

re rated and/or self closing doors per
 aration of garage from living areas.

ct and other penetrations per code for
 garage from living areas.

HOMEOWNER:
 ction plans ARE NOT a part of your
 ntract with your builder, unless your P&S
 ecifies that they are. Your P&S and it's
 like the builder's specifications or a review set
 describes what you and your builder agreed
 uld build for you. We here at Artform Home
 ave the authority to obligate your builder to
 ith amenities like fireplaces and spa tubs. The
 en you and your builder governs.



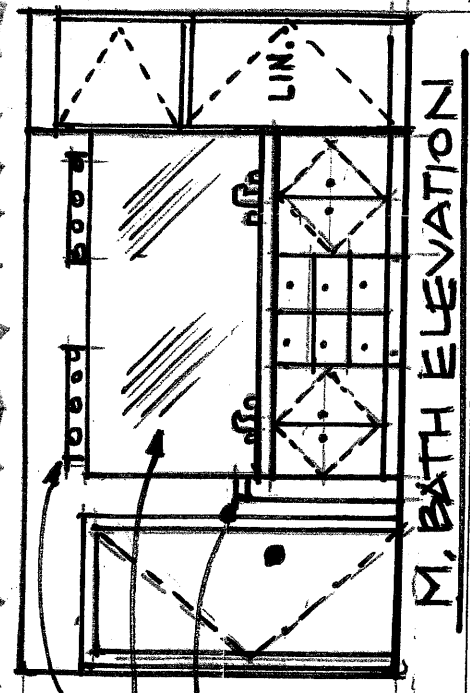
12x12
SLATE
TILE

WE NEED
TO DETAIL
THE BENCH

WOOD FLOOR

12x12
BLACK
SLATE
TILES

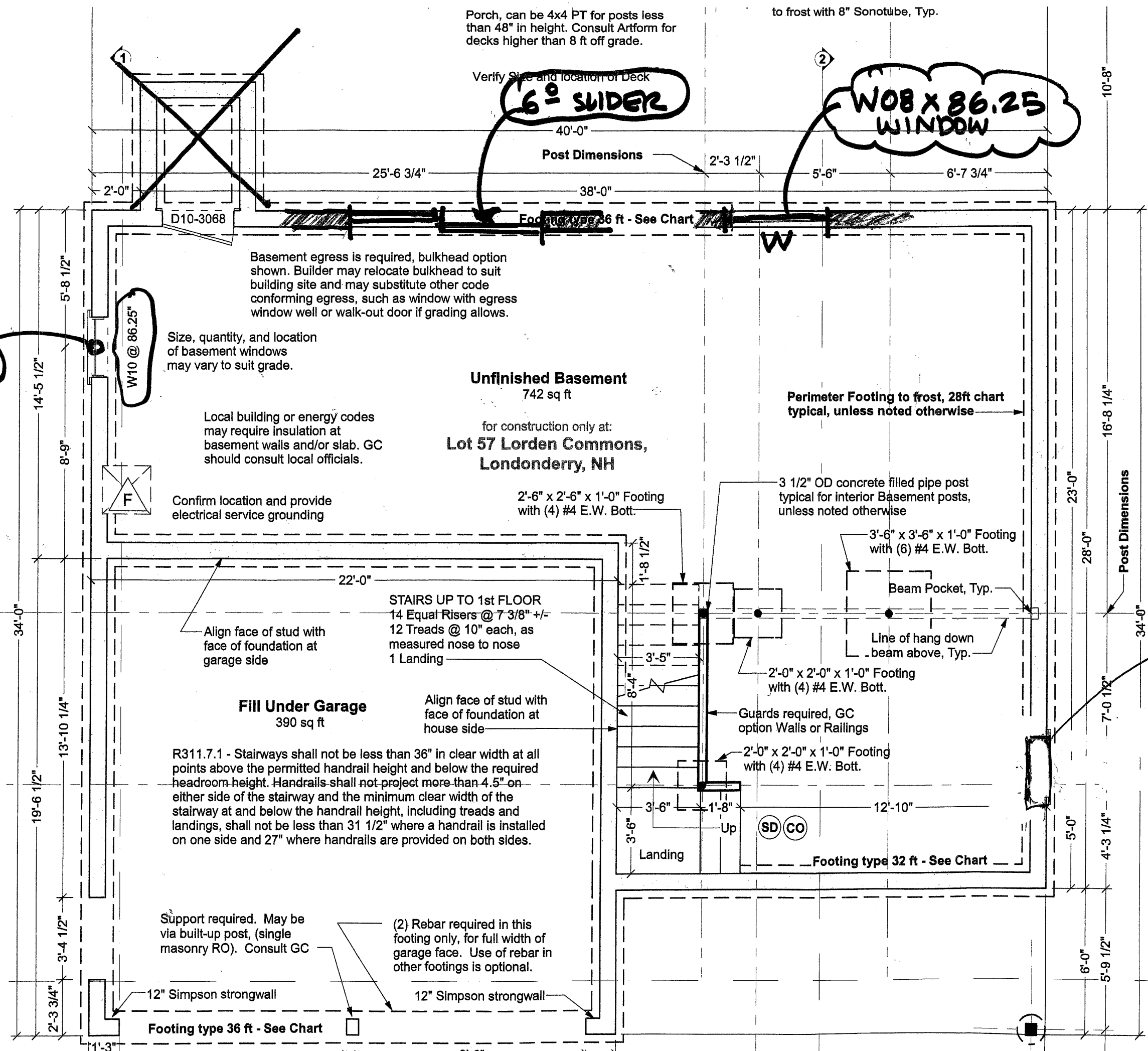
GLASS DOOR ON NEW
ENTRY
SIZE



20210101 11/9/20

SWEET PEELABO

to frost with 8" Sonotube, Typ.



ROB ~~CH~~ER
HARBY
LOT 86

11/17/20

LEAVE
THIS
IN