

Exterior walls 2x6 wood stud Interior walls 2x4 wood stud, unless noted otherwise

Wall Kevs

2x wood studs on the flat (6) 2x6 wood stud wall, 16" oc

Note: 2x4 wood stud wall, 16" oc unless otherwise noted

Key Notes

A 30" x 22" Minimum Attic Access Panel - Insulated (RO 34" x 26")

F Field locate for plumbing or mechanical

Verify size of fixture or appliance
Adjust dimensions to accommodate

C Center - Place door or window centered on wall

(SD) Smoke Detector (HD) Heat Detector

(CO) Carbon Monoxide Detector

Dimensions

Dimensions are to face of stud, unless noted otherwise.
 Closets are 24" clear inside, unless dimensioned otherwise.

Square Footages

Sq ft numbers are interior to room for use in calculating finishes.
 Cabinets and fixtures not subtracted.
 Add for doorways when floor finishes run through.

Notes

- Exterior walls 2x6 wood stud @ 16° oc. Provide insulation & vapor barrier conforming to state or local codes. Interior sheathing 1/2° gypsum board. Provide 1/2° exterior rated sheathing, house wrap with drainage plane and siding. Provide step flashing at walls adjacent to mof planes.
- 2. Interior walls 2x4 wood stud @ 16" oc, unless noted otherwise
- 3. Roof see structural for rafter sizes. Provide 5/6" exterior rated root sheathing 15# roofing felt, ice & water shield at eaves and valleys, aluminum drip edge and esphalt shingles or metal roofing. Structure not calculated to support slate or tile. Flash all penetrations. Provide cricket at any added chimneys.
- 4. Provide roof and/or ceiling insulation per code. Provide soffit and ridge vents where required for insulation strategy, (Verify with code officer closed cell spray foam or dense-pack ceilulose installed at rafters and filling ridge and eaves generally contra-indicates venting, batt insulation always requires venting).
- 6. Provide fire resistive materials where required by code, including but not limited to, firestopping at penetrations, 5/8" Type X drywall on walls and cellings to separate garage (where garage present in design) from dwelling, and separation of dwellings (where more than one dwelling present in design), and protection of flammable insulation materials. See Table R302.6 IRC 2015.
- Shear is only called out where Continuous Portal Frame will not suffice. See Section R602.10.4 (Pages 177 188) of the IRC 2015.

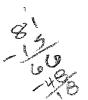
General Design Notes

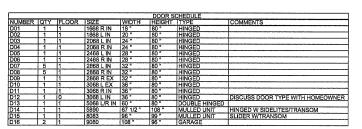
- Builder shall consult and follow the building code and other regulations in effect for the building site for all construction details not shown in these drawings. Requirements described here are specific to this design and/or are provided as reference. Additional building code or local requirements may apply.
- 2 Builder shall maintain a safe worksite, including but not limited to, provision of temporary supports where appropriate and adherence to applicable safely standards.
- Design is based on the snow load listed on the framing plans, 100 mph basic wind speed, Exposure type B, soil bearing capacity of 2000 psf, and Selsmic Category C, unless otherwise noted on the framing plans. Builder shall promptly inform Artform Home Plans of differing conditions.

Door & Window Notes

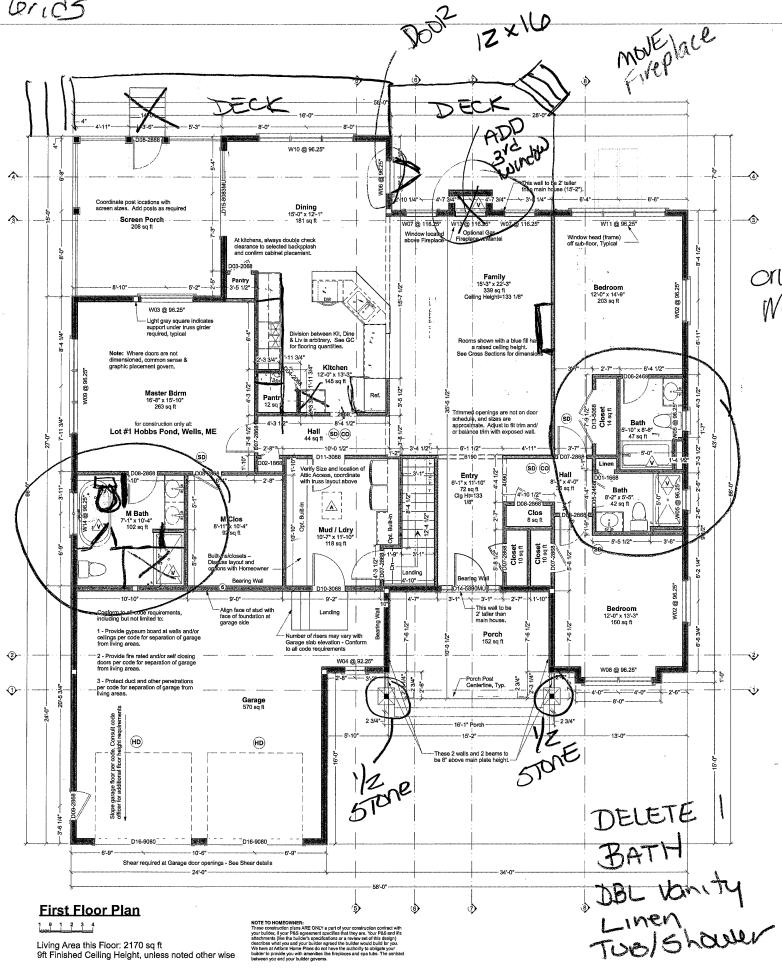
- 1. Rated Doors: Provide fire rated and/or self-closing doors where required by local codes or local authorities
- 2. Trimmed Openings: Trimmed openings not shown on schedule. See Plan.
- Window Tempering: Provide tempered windows where required by local codes or local authorities. Tempering column provided here for convenience. Windows have not been reviewed for tempering.
- 4. Window RO's: 1/4" or 1/2" on each of 4 sides allowed for window RO's, typical. Review framing size vs RO size. Adjust per manufacturer's requirements and/or builder preference.
- 5. Egress Windows: Provide minimum one door or window meeting egress requirements in basament, in each sleeping room, in each potential sleeping room, and other locations required by local code, Not left that casement windows coded by manufacturer as meining IRC 2015 egress requirements lypically need to be ordered with specific hardware. Emregency Escape Window Sizes (Section R310.2.1, R310.2.2, R310.2.3) and R310.2.4). Will also comply with NFPA 101.
- Basement Windows: Add basement windows as required to meet state or local code requirements including but not limited to egress and light/ventilation.
- 7. Skylights: Skylights are not shown on this schedule, but may be required. Consult builder and/or see floo
- Minimum window sill height: IRC 2015 requires that floor window sills be 24" from floor. Confirm bottom
 of window opening relative to frame. Conform to IRC 2015 R312.1.

12" on center for Deck





WINDOW SCHEDULE								
NUMBER	QTY	WIDTH	HEIGHT	R/O	EGRESS	TEMPERED	DESCRIPTION	COMMENTS
W01	3	36 "	18 "	36 1/2"X18 1/2"			SINGLE AWNING	
W02	2	47 1/2 "	23 1/2 "	48"X24"			SINGLE AWNING	
W03	1	59 1/2 "	23 1/2 "	60"X24"			SINGLE AWNING	
W04	1	23 1/2 "	47 1/2 "	24"X48"			DOUBLE HUNG	
W05	2	23 1/2 "	47 1/2 "	24"X48"		YES	DOUBLE HUNG	
W06	1	38 "	71 1/2 "	38 1/2"X72"			DOUBLE HUNG	
W07	2	35 1/2 "	91 1/2 "	36"X92"	1		DOUBLE HUNG/W TRANSOM	
W08	1	76 "	67 1/2 "	76 1/2"X68"	YES		2X DH	
W09	1	106 1/2 "	65 1/2 "	107"X66"	T		3X DH	
W10	1	106 1/2 "	71 1/2 "	107"X72"			3X DH	
W11	1	106 1/2 "	71 1/2"	107"X72"	YES		3X DH	
W12	2	23 1/2 "	35 1/2 "	24"X36"			FIXED GLASS	
W13	1	36 "	18 "	36 1/2"X18 1/2"	T		FIXED GLASS	
W14	T 1	47 1/2 "	47 1/2 "	48"X48"		YES	DOUBLE CASEMENT-LHL/RHR	



NOTE: Plans Must Be Printed in Color. Merlot Cottage

2 - Ceiling Height (Section R305) 3 - Floor space & ceiling height at Toilet, Bath and Shower Spaces (Section R307)

2 - Ceiling Height (section Naus)
3 - Floor space & ceiling height at Tollet, Bath and Shower Spaces
(Section RS07)
(Section RS07)
4 - Control RS07
5 - Control

12 - Structural i-loor i-raming (Section Nexu.2.3) vience incremissional lumber is shown, framing members will be sized according to this section of the code. Where engineered wood products are shown, those framing members will be size according to the manufacturer tables for loads and spans, or sizes will have been calculating usin manufacturer's published materials properties.

13 - See structural sheets for additional notes.

The builder can and should add information to this set, such as Reached, a hand markup of our generic hermal and moisture section, additional information about doors and windows (such as first raing, tempering, etc), foundation drops relative to site grading, sometimes their chosen method of basement egrees. These chawings are not Intended to be used without that additional information.

Where a construction address is shown on the drawings, it is for copyright control only. We have not inspected the site, adapted the design to state specific laws (except where it says so in the drawings) or site or region specific climate conditions. Homeowing and/or Butleter shall be responsible for thermal and moisture control strategies, materials choices and compliance with applicable laws and ordinances.

Dear Everybody

With these drawings a copyright license is granted for a single construction only at Lot #1 Hobbs Fond, Wells, ME. This is a Licens to Build, and does not include a License to Modify, except as require to conform to building code or fulfill builder's/owners responsibilities.

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1. All activities associated with construction at the listed address,
2. Pricing or preliminary discussions with zoning or code officials for
construction at other addresses, with prior notification to Ardom
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Not.Parmitted:

1. Application for any permits or other approvals for construction at properties their than the listed address, including but not limited to contendon, zoning, conservation, or design review.

2. Modification of the basic design.

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We can provide drawings suitable for use in obtaining design or zoning approvals without incurring the expense of a full set of construction drawings. Contact us for more information.

These drawings are intended for use by an experienced professional builder in responsible charge of the entire project, including but not limited to mechanical, electrical and sitework. Any additional adaptation for these trades or other trades must be determined prior to construction. Contact Artform for any adjustments needed.

Your use of these drawings constitutes an acceptance of responsibility as outlined in "Dear Code Officer" on the first page of these drawings, and on our web site:

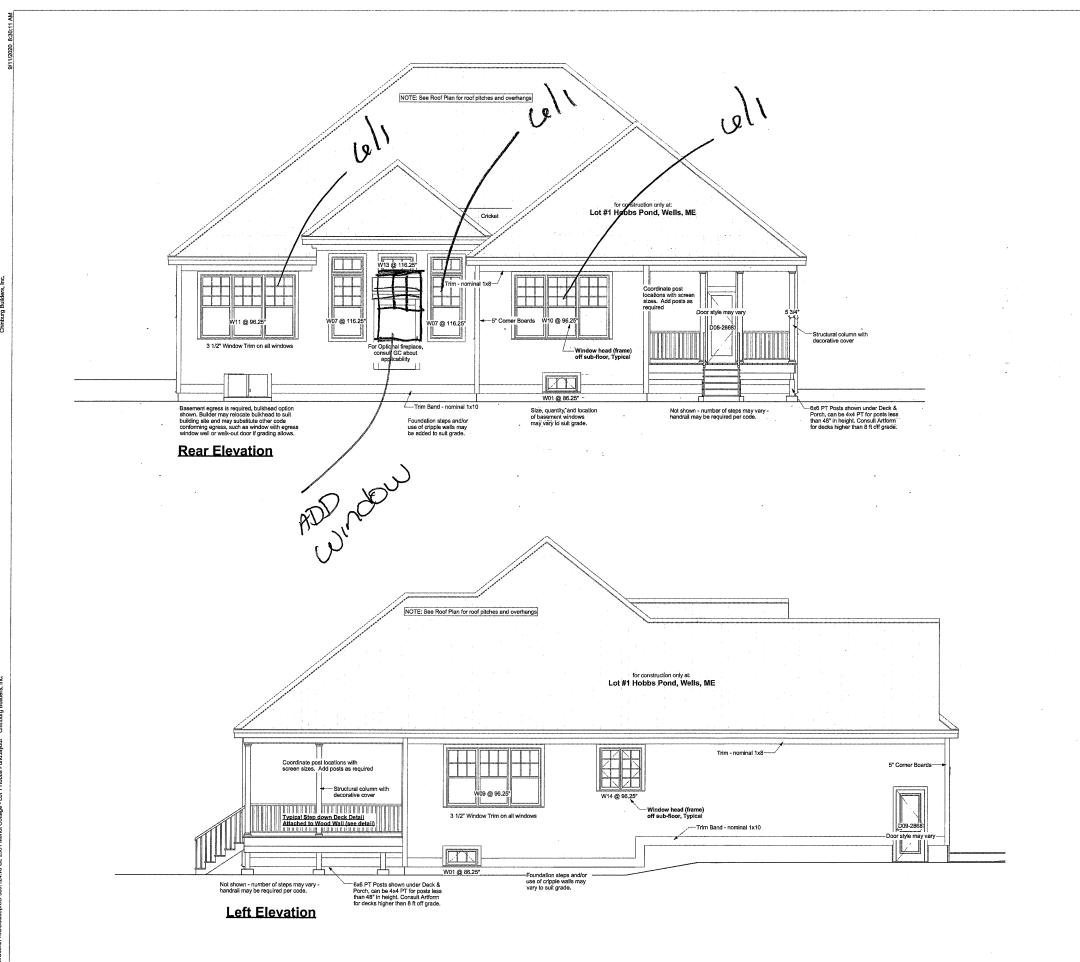
If you have any concerns or upsace, peasar see need to contact us. We are happy to clarify matters that fall within our scope, as listed on the first page. We can also often provide affordable support for issues that are your responsibility, such as energy design/calcs, or additional detailing.

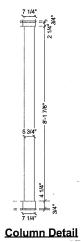
Artform Home Plans

AFHP Design # 989.124.v8 GL 2019-2020 Art Form Architecture 603.431.9559

S 2019-2020 Art Form Architecture 603.

Merlot Cottage
Lot #1 Hobbs Pond
Wells, ME
1/4"=1"-0" unless noted otherwise / Pint @ 1:
PDF created on: 9/11/2020, drawn by ACJ
R2: 9.11.20 - Truss updates 1





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APP Design # 99.124.98 64,
p. 2019-2020 Art form Architecture 403.431.9559
Mort Of Cottage
Lot art Hobbs Pond
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per created and of 1/1/2020, dre





