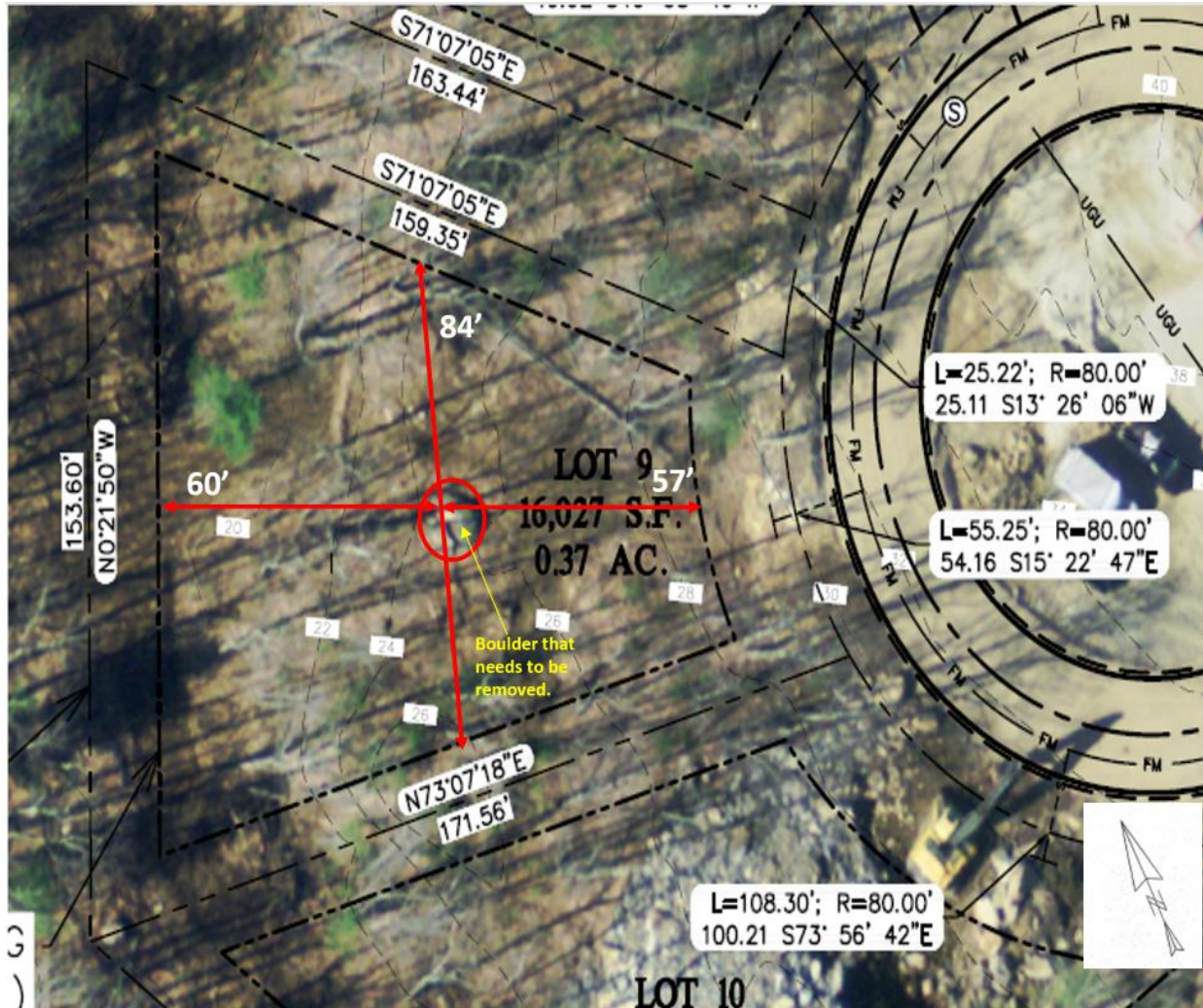


Al Serpa

apres1225@gmail.com

508-572-9494

- Build Plan Location: Lot 9 on Beryl's Way (98 Mills Road), Kennebunkport, ME
- Square Foot required: Total of 2200 SF (defined by heated rooms)
 - Assuming ~1100 SF Foundation & ~1100 SF 2nd Floor?



- Entrance to Lot 9 is ~57' wide
 - Would the firstfloor width of this plan of 56' be too big?
 - Perhaps go smaller width and deeper length?
- Center of Lot 9 (where boulder is located) is ~84' wide
- 35' Maximum height restriction

Engineering:

Attar Engineering

Mike Sudak mike@attarengineering.com

1284 State Rd, Eliot, ME 03903

(207) 439-6023

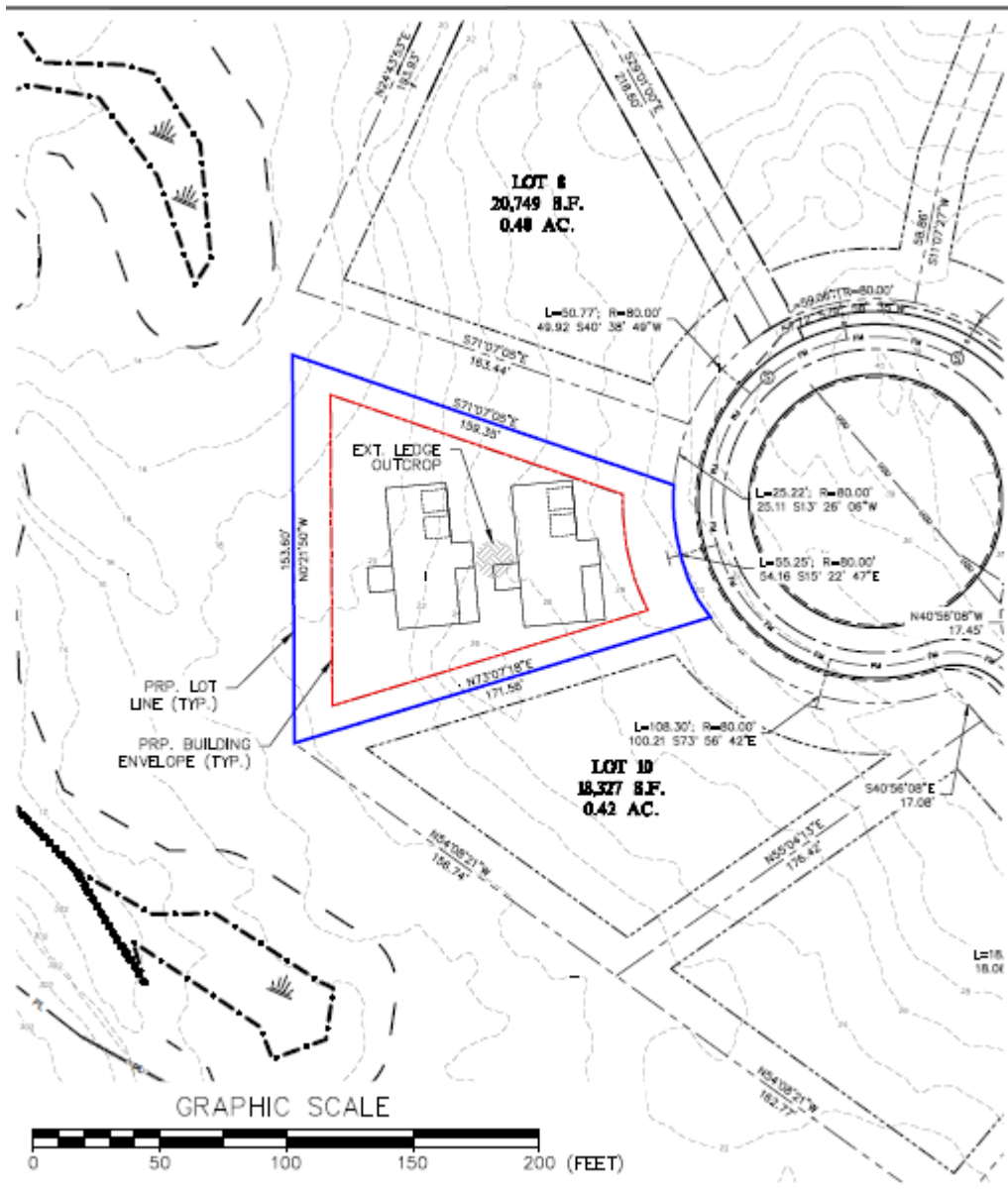
<https://attarengineering.com/>

Builder:

PDF DEVELOPMENT AND CONSTRUCTION LLC

124 FLETCHER STREET KENNEBUNK, ME 04043

York, Kennebunk

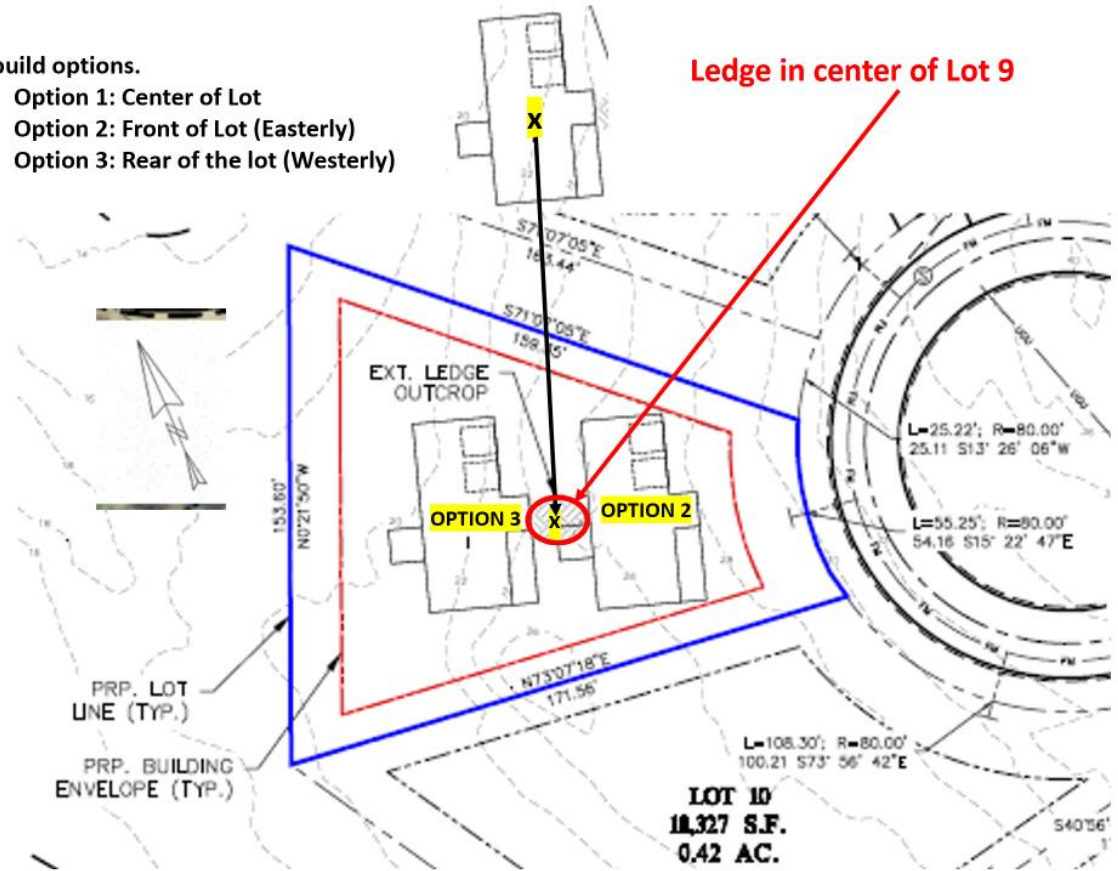


OPTION 1

(Center of Lot 9, Over large Boulder maximizes building envelope usage for the Foundation)

3 build options.

- Option 1: Center of Lot
- Option 2: Front of Lot (Easterly)
- Option 3: Rear of the lot (Westerly)



- Above.PDF shows the building envelope in red, while the property line is in blue. Pricing is based on design time, usually with the customer, hours put in by our staff to make the changes you need, and then cost of the CDs.
- Another question I had was whether or not the plans would include a budgetary proposal for all the furnishings a well (kitchen/bathrooms, etc.), or is that more what the Builder would include in his proposal with this plan?
- It definitely does appear that it would be challenging to have the garage doors positioned on the right (northern) side of the house, with the lot constraints there.
 - It likely would be too tight of a turning radius for a vehicle to comfortably access the left hand garage bay if the garage doors were to be positioned off the right side.

April Calla Classic 190.124.v6 GL

Target Home Plan Draft

April Calla



[http://www.artformhomeplans.com/plan.a5w?PlanName=April Calla Classic v6 GL](http://www.artformhomeplans.com/plan.a5w?PlanName=April%20Calla%20Classic%20v6%20GL)

Art Form Architecture
603-431-9559
<http://www.artformhomeplans.com/>
PO Box 535
North Hampton NH 03862
alec@artform.us

Specifications

- » Rooms: 7
- » Bedrooms: 3
- » Bathrooms: 2.5
- » Master Bath: Yes
- » Year Built: To Be Built
- » Color: Choice
- » Style: Craftsman
- » Type: Detached
- » Living Area: 1923 sq. ft. (Additional 276 sq. ft. available as optional upgrade)
- » Garage: 2 car attached

Features

- » Appliances: Dishwasher, microwave, electric range
- » Construction: Frame
- » Cooling: Central air
- » Electric: Circuit breakers, 200 AMP
- » Hot Water: Navian tankless, propane fired
- » Heating: Propane
- » Exterior: Vinyl
- » Roof: 30 Year architectural asphalt shingles
- » Exterior Features: Deck
- » Interior Features: Hardwood, carpet, linoleum, granite countertops *
- » Road Type: Paved road, town maintained
- » Utilities: Town water, sewer, power

Current

April Calla



Preferred

Preferred
Garage Doors
side

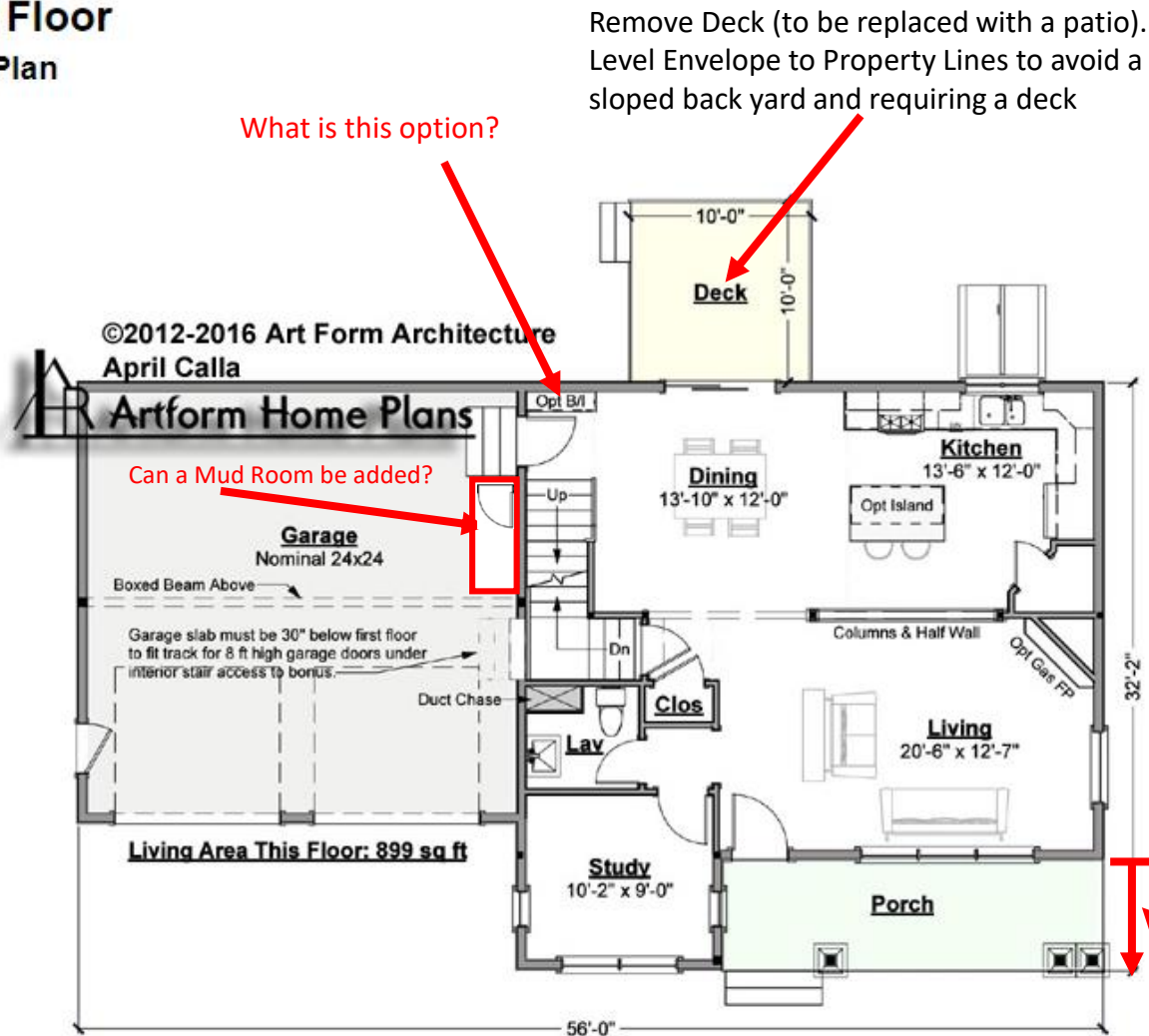


Front Door
style

- Would like to have the front of the home in this style.
- If possible wider windows on the first floor
- Move the April Calla garage to the right side of the home
- Ideally with Garage Doors on the side instead of front but not sure lot size is feasible?

First Floor

Floor Plan



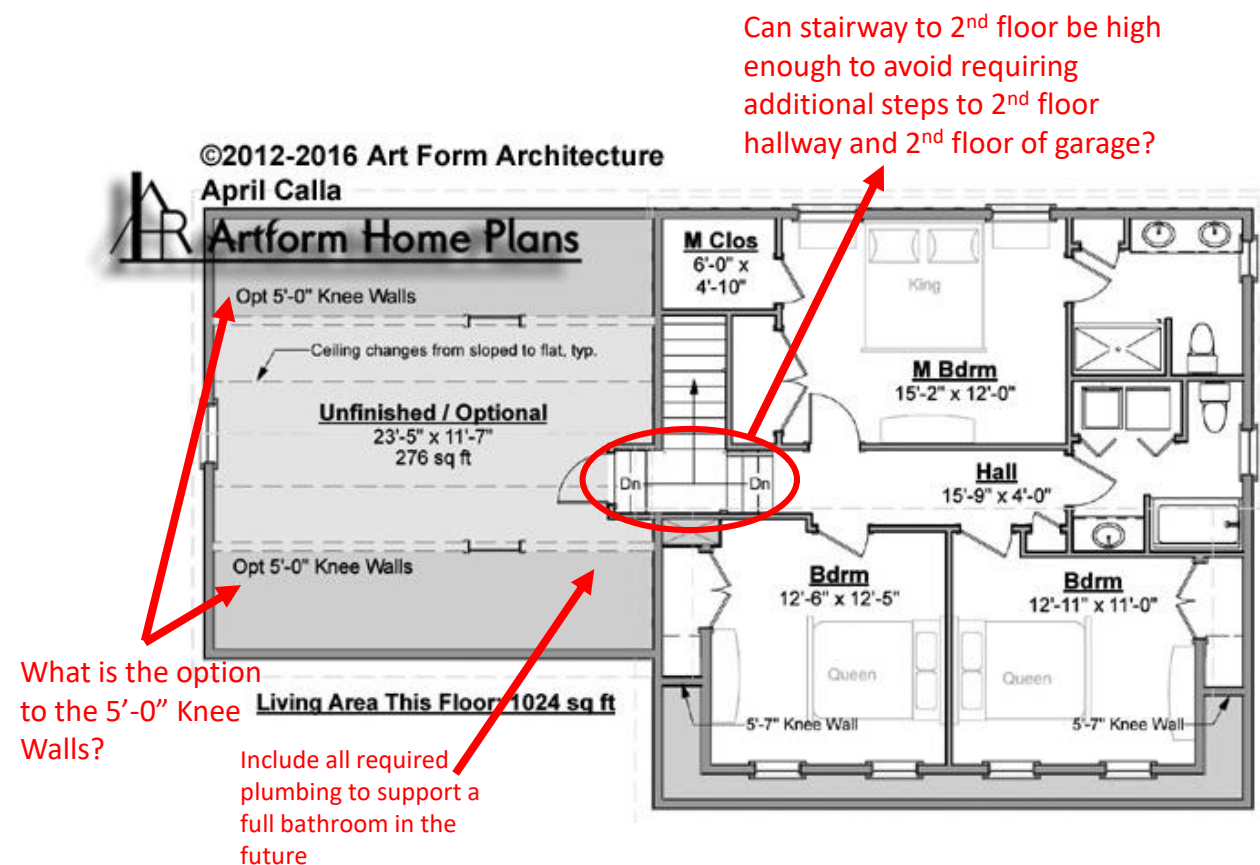
- Entrance to Lot 9 is ~57' wide
 - Any risk firstfloor width of this plan of 56' is too big?
- Center of Lot 9 (where boulder is located) is ~84' wide
- Prefer mirror image of layout:
 - Prefer walk out to a patio instead of a deck
 - Prefer enclosed doorway instead of bulkhead
 - Garage on the right side
 - Kitchen and Living Room on the left side
 - stairway to 2nd story and bathroom on right side
 - Porch would be across entire front of the house with the front style requested.
 - Ideally would like the front of the house to capture as much morning sun into the back where the kitchen is
 - Study would align with Living room so Living room becomes longer on the frontside (enables kitchen SF to be larger too and a wider island?)
 - Closet door faces Living Room not Dining Room



Because of where Sun rises and sets, on this Lot, hoping to capture as much sun through the front of the house in the morning and along the left & backside of the house in the afternoon with as much glass as possible.

Second Floor

Floor Plan



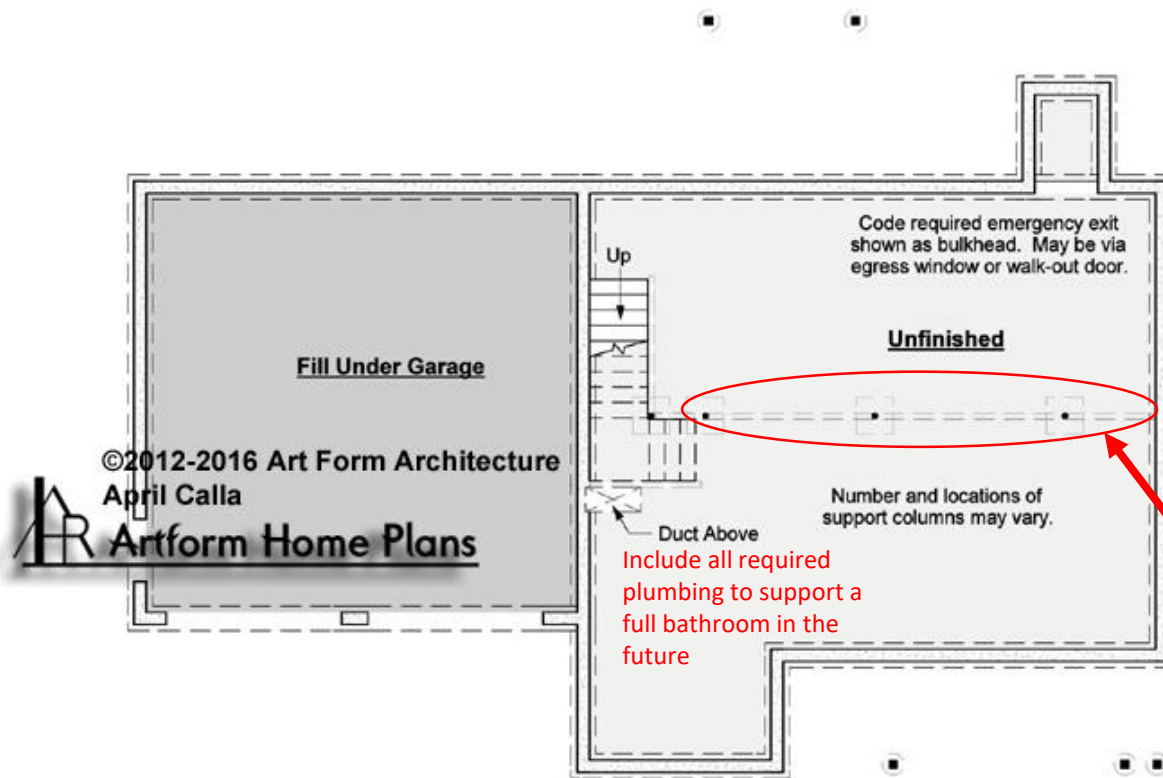
- Prefer mirror image of layout:
 - Garage on the right side
 - Utilize garage space as 2nd walk in closet and possibly a second home office.
 - Stairway on right side
 - M-Bathroom on left side
 - 2nd floor stairway and 2nd floor bathroom on left side
 - Porch would be across entire front of the house with the front style requested.



Because of where Sun rises and sets, on this Lot, hoping to capture as much sun through the front of the house in the morning and along the left & backside of the house in the afternoon with as much glass as possible.

Basement Floor

Floor Plan



- Prefer mirror image of layout:
 - Garage on the right side
 - Prefer enclosed doorway instead of bulkhead
 - Stairway on right side
 - Study would align with Living room so maybe Dining room becomes longer (perhaps garage length on the backside as well?)
- Include all required plumbing to support a full bathroom in the future

















