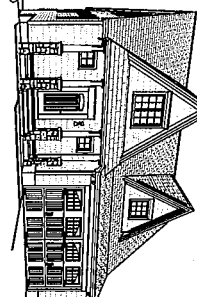


- Wall Types**  
Exterior walls 2x6 wood stud  
Interior walls 2x4 wood stud, unless noted otherwise
- Wall Keys**

Transom  
Window

- 10

# Shetland



These are professional home plans, designed to bring good design and construction drawings to people at more affordable prices and faster time frame plans disclaim all responsibility. Where traditional "lifestyle" home plans disclaim all responsibility, we split responsibility between us (Architect) and the owner. We encourage the future homeowners to use a quality builder who can assist them with this. They are responsible for thermal and moisture decisions and for meeting coding in ways that a quality builder should know. We are responsible for things that are directly related to the design and/or that a quality builder couldn't reasonably figure out on their own - specifically the following IRC 2009 code sections:

These are predesigned ho

1. Room sizes (Section R300)
2. Ceiling heights (Section R305)
3. Surface finish of ceiling (light or Teflon, Bath and Shower: Space
4. Humidity within (Section R311.6)
5. Door types & sizes (Section R314.1.2)
6. Window types & sizes (Section R314.1.3)
7. Structural loads (Section R314.1.4)
8. Sound levels (Section R314.1.5)
9. Wall materials (Section R314.1.6)
10. Wall construction (Section R314.1.7)
11. Wall finish (Section R314.1.8)
12. Wall color (Section R314.1.9)
13. Wall texture (Section R314.1.10)
14. Wall finish (Section R314.1.11)
15. Wall texture (Section R314.1.12)
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98. Wall color (Section R314.1.95)
99. Wall texture (Section R314.1.96)
100. Wall color (Section R314.1.97)
101. Wall texture (Section R314.1.98)
102. Wall color (Section R314.1.99)
103. Wall texture (Section R314.1.100)

The builder can and should add information to this set, such as Rescheck, a hand markup of our generic thermal and moisture section, additional information about doors and windows (such as fire rating, latching, etc), foundation drops relative to site grading, and sometimes their chosen method of basement egress. These drawings are not intended to be used without that additional information.

When a contractor address is shown on the drawings, it is for copyright control only. We have not impacted the site, adapted the design to local specific laws (except where it says so in the drawing) or site or specific social climate conditions. However, our architect/builder shall be responsible for thermal and moisture control strategies, materials choices and compliance with applicable laws and ordinances.

Please do feel free to call us with any questions. We can and do update our drawings and standards notes to address specific concerns, especially in jurisdictions where our clients will be building again.

**David Eisenbrey,**

With these drawings a copyright license is granted for a single construction only at Lot #31 Louden Commons, Londonderry, NH or for Chubbuck Builders. This is a License to Build, and does not include a License to Modify, except as required to conform to building code or fulfill builder's/owner's responsibilities.

**Permissible uses of items at meetings:**  
All activities inconsistent with construction at the listed address, including but not primarily restricted to, working or erecting scaffolding for construction, zoning, conversion, or design review. Home Plans - Just use the Contact form on the web site - <http://www.africohomeplans.com/contact.asp>

**Not Permissible:**  
- application for any permits or other approvals for construction at properties other than the listed address, including but not limited to construction, zoning, conversion, or design review, modification of the basic design.

We can produce drawings suitable for use in obtaining design or zoning approvals without incurring the expense of a full set of construction documents. Contact us for more information. We want to allow reasonable use at reasonable costs, just not have them used for anything else.


Use of these drawings outside these parameters is a violation of federal copyright law, punishable by both civil action and criminal prosecution.<sup>1</sup> It's also stealing or embezzling that, which doesn't suddenly become less just because it's "intellectual property." Making changes, even significant changes, does not change this. Copying, distributing, selling, or otherwise making use of said drawings for purposes other than those intended is still illegal, possibly in the wee hours when everyone else was sleeping!

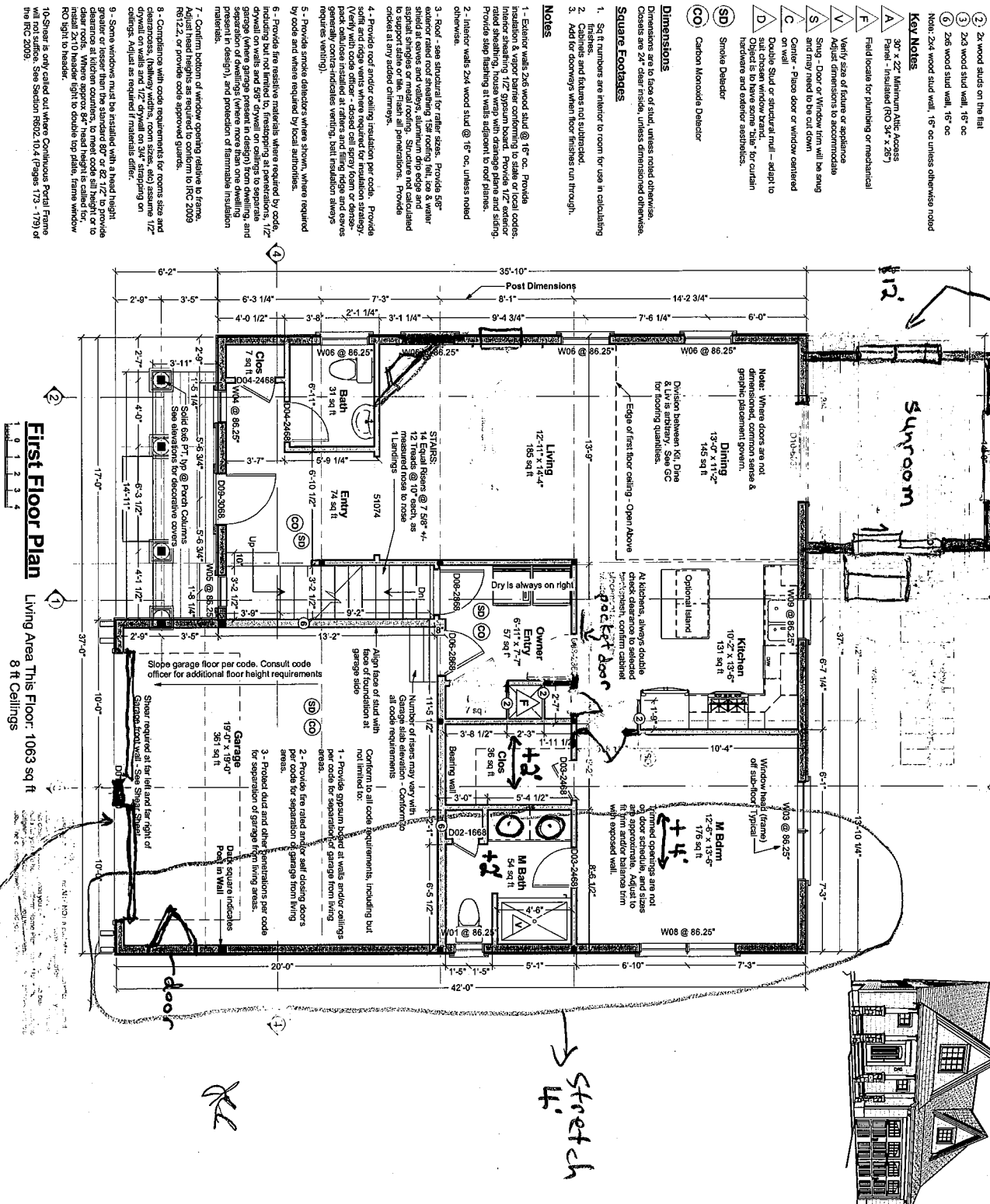
**YOUR WORK SUBMITTIONS**

Your use of these drawings constitutes an acknowledgment of responsibility as outlined in "Dear Code Officer" on the first page of these drawings, and an our web site: <http://www.aiaa.com/belmonts.com/termsandconditions.aspx>

If you have any concerns or questions, please feel free to contact us. We are happy to clarify matters that fall within our scope of service. We cannot, however, provide the type of professional support for issues that are your responsibility, such as energy design/ratals, or additional detailing.

**ATTACHED**

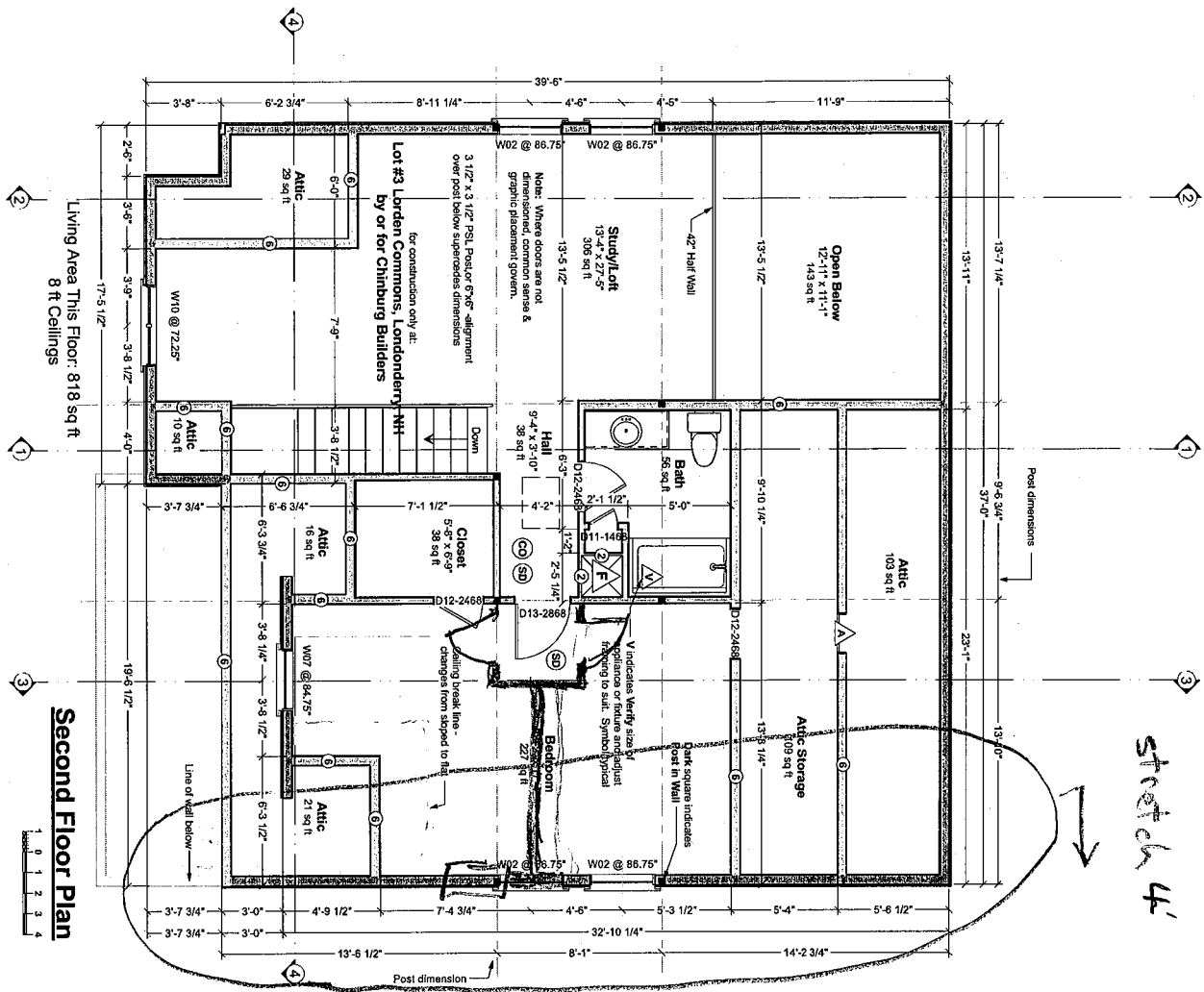
	AR® Design # 553 / 126 EL © 2013 Wendy Meyer, Inc. 200-437-9569	Shelard Lot #3 Loden Commons Londonderry, NH	-	1
	*AR® = AR® plans listed elsewhere / FR #11 *FR = Floor plan only, no foundation / FR #2 *Rt: 6.11.2014 - Ceiling Height & Minor Interior Changes	Made To Order Contribution		



**First Floor Plan**

Living Area This Floor: 1063 sq ft  
8 ft Ceilings

2 garage doors



stretch 4'

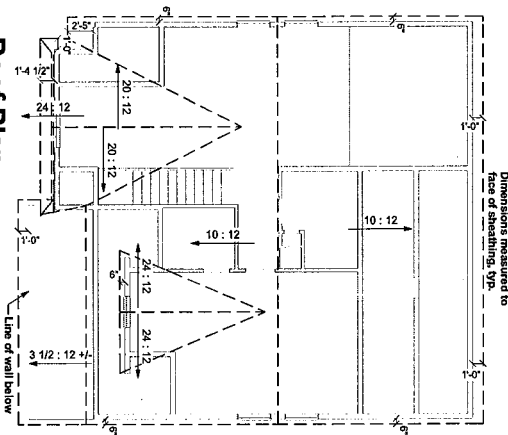
## Second Floor Plan



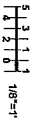
DOOR SCHEDULE					COMMENTS	
NUMBER	QTY	FLOOR	SIZE	HEIGHT	TYPE	
D01	1	1	18'-0"	18'-0"	GAUGE	
D02	1	1	18'-0"	18'-0"	HINGED	
D03	1	1	24'-0" R.N.	28'-0"	HINGED	
D04	1	1	24'-0" R.N.	28'-0"	HINGED	
D05	1	1	24'-0" R.N.	28'-0"	HINGED	
D06	1	1	24'-0" R.N.	28'-0"	HINGED	
D07	1	1	24'-0" R.N.	28'-0"	HINGED	
D08	1	1	24'-0" R.N.	28'-0"	HINGED	
D09	1	1	24'-0" R.N.	28'-0"	HINGED	
D10	1	1	24'-0" R.N.	28'-0"	HINGED	
D11	1	1	24'-0" R.N.	28'-0"	HINGED	
D12	1	1	24'-0" R.N.	28'-0"	HINGED	
D13	1	1	24'-0" R.N.	28'-0"	HINGED	
D14	1	1	24'-0" R.N.	28'-0"	HINGED	

### Door & Window Notes

1. Raised Doors: Provide fire rated and/or self-closing doors where required by local codes or local authorities.
2. Trimmed Openings: Trimmed openings not shown on schedule. See Plan.
3. Window Tempering: Provide tempered windows where required by local codes or local authorities. Tempering column provided here for convenience. Windows have not been reviewed for tempering requirements.
4. Window RO's: 14" or 12" on each of 4 sides allowed for window RO's, typical. Review framing size vs RO size. Adjust per manufacturer's requirements and/or builder preference.
5. Egress Windows: Provide minimum one door or window meeting egress requirements in basement, in each sleeping room, in each potential sleeping room, and other locations required by local codes or local authorities. Egress windows shall be at least 20" x 24" and shall be operable from the interior without the use of tools, ladders, or other devices. Egress windows shall be labeled as such. Egress windows shall be labeled as such. Egress windows shall be labeled as such.
6. Basement Windows: Add basement windows as required to meet state or local code requirements, including but not limited to egress and light ventilation.
7. Skylights: Skylights are not shown on this schedule, but may be required. Consult builder and/or see floor plan.
8. Minimum window sill height: IRC 2006 and later requires that upper floor window sills be 24" from floor. Where 60" high windows are used, install with window heads @ 84 1/2" or more.



## Roof Plan



Your use of these drawings constitutes an acceptance of responsibility as outlined in Code Book Chapter 10 on the first floor. For more information, please visit our website at <http://www.ardorhomeplans.com/terms-conditions.aspx>.

If you have any concerns or questions, please feel free to contact us. We are happy to help. We are also happy to provide affordable support for issues that are your responsibility, such as energy design, or additional detailing.

**Arden Home Plans**  
Arden Design # 537.126 EL  
Londonderry, NH 03053-4511

**2**

10'-0" = 1" unless noted otherwise / Print @ 1/4" = 1"  
PDF created by eDrawings software

6/11/2014 - Ceiling Height & Minor Interior Changes

1. Builder shall consult and follow the building codes and other regulations in effect for the building site for all construction details not shown in these drawings. Requirements described there are specific to the design and/or are provided as references.
2. Builder shall maintain a safe workplace, including but not limited to, provision of temporary supports where appropriate and adherence to applicable safety standards.
3. Design is based on the snow load listed on the framing plans, 90 mph basic wind speed. Exposure Category B, steel bearing capacity of 200 psi, and Seismic Capacity C, unless otherwise noted on the framing plans. Builder shall promptly inform Architect Home Plans of differing conditions.

1. No footing shall be poured on loose or unsuitable soils, in water or on frozen ground.
2. All exterior footings to conform to all applicable code requirements for frost protection.

4. Foundation anchorage to comply with IRC 2009 Section R403.1.6, if they consist of minimum size 1/2" diameter anchor bolts with 3/16" x 2" x 2" washers at a maximum of 17" oc for two stories or 48" oc for more than two stories, max of 12" from each corner, min of 4" bolts per wall. Anchor bolt shall extend 7" into concrete or grouted cells of concrete masonry units. Be aware that a grappa under may be required by your code officer as a story. Additional anchorage may be required at brood walls.

1. All structural wood shall be identified by a grade mark or certificate of inspection by a recognized inspection agency.
2. Structural wood shall be Species-Grade-Tri (SGT) #2 or better.
3. When used, LVL or PSL, including Laminated Veneer Lumber or Parallel Strand Lumber, respectively, Products used shall equal or exceed the strength properties for the size indicated as mandated by *Timberline*.
4. When used, AISI industrial wood H-joists as manufactured by Boise Cascade, Products of aluminum manufacturers may be substituted provided they meet or exceed the strength properties for the member specified.
5. All floor joists shall have bracing installed at mid-span or at 8'-0" or maximum.
6. Floor systems are designed for performance with subfloor grade and provide.
7. All posts, provide solid framing/blocking to supports below, provide minimum 1 1/2" bearing length for all beams and bracing, unless noted otherwise.

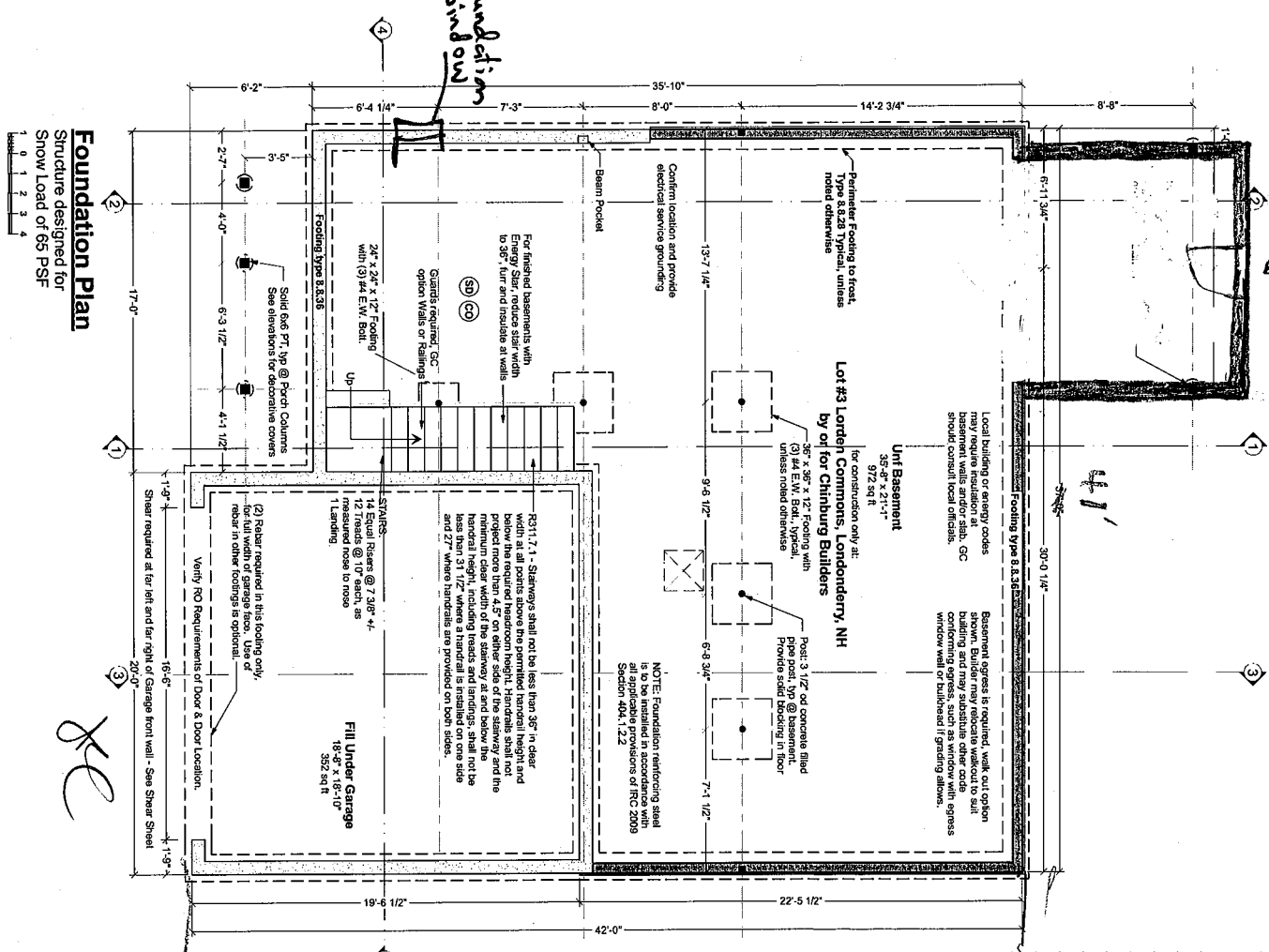
9. Deck ledgers shall be securely attached to the structure and/or independently supported, including against lateral movement, per building code requirements and best practices. Unless otherwise noted, decks shall have solid 4x4 pt posts up to 6 ft above grade, and solid 6x6 for heights above that.

11. Support the lower end of roof beams via minimum 2" horizontal bearing on a post, ledger or via an appropriately sized and configured hanger.

**Pretabricated Wood Trusses**  
12. If trusses, post caps, ties and other components are to be manufactured by Simpson Strong Tie, as designed to connect the members shown, and shall be installed per manufacturer's instructions.

2. Trusses shall be designed in accordance with applicable provisions of the latest edition of the National Design Specifications for Wood Construction (NDS), American Forest and Paper Association (APF), and Design Specifications for Metal Plate Connected Wood Trusses (ANSI/TPI 1, Truss Plate Institute (TPI) and code of jurisdiction).

where project will be built.

$$T_{BD} = T_{const} \frac{a}{R}$$


## Initials Date Checked

**Confirmed soil bearing**

Checked w/GC for added foundation steps to suit grade

Confirm sill plate thickness (foundation bolts to extend through all)

Confirmed garage door size

Checked w/GC for added basement windows

CHECKED W/SC FOR ADDED DASH/INTERL. MARKS

COLLIMATED AND RECOLLIMATED FIBER/PLUG PROFILES

CELLULOSES AND POLYESTERS OF POSITIVE AND NEGATIVE CHARGE

- 8" polystyrene concrete, 3" normal, min 7"-10" thickness, when total of 3" rebar, as follows:
  - (1) #4 rebar @ front top
  - (1) #4 rebar @ vertical midpoint. Omit this rebar at walls & 8" high or less.
  - (1) #4 rebar, min 3" from bottom or per code
  - Lap corners & boundaries with 1/2" diameter anchor bolts that extend 7" into concrete and lightened with a nut and washer @ 8" to 8" max. 12" from each corner & each end @ wood piles or straps must secure all wall plates.

1. Verify that depth of home matches chart. Depth is foundation dimension away to sews. Contact Aftorm Home Plans if you believe the chart does not match the plan.
2. Select column for snow load shown on the structural plans.
3. Select the bearing pressure based on soil type and/or
4. The required footing size is the intersection of the Snow Load and Soil PSI. Rebar is not required. Key or pin foundation will to footing per code. For the purposes of permitting, soil bearing for New England is assumed to be 2,000 PSI.
- FAC - adding rebar to footings does not reduce the required width. Rebar affects performance with earth movement, like an earthquake and has near zero effect on bearing capacity.

**Guide to Soil PSI**

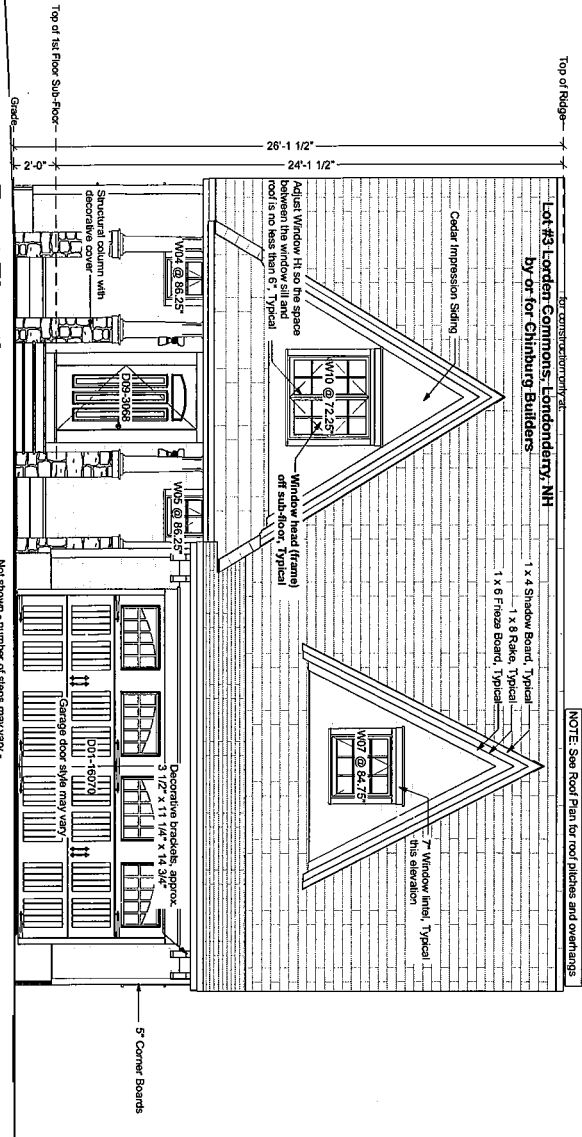
3,000	Sandy gravel and/or gravel (SW and GP)
2,000	Sand, silty sand, clayey sand, silty gravel and clayey gravel (SW, SP, SM, SC, GM and GC)
1,500	Clay, sandy clay, silty clay, clayey silt, silt and sandy silt (CL, ML, MH and CH)

Feeding Size		Feeding Size		Feeding Size	
Type 8.3.2b		Type 8.3.2b		Type 8.3.2b	
up to 26 ft plant depth		up to 26 ft plant depth		up to 26 ft plant depth	
8' foundation wall		8' foundation wall		8' foundation wall	
Full basement plus 2 stories		Full basement plus 2 stories		Full basement plus 2 stories	
		Snow Load		Snow Load	
Soil	3,000	165 x 8"	165 x 8"	165 x 8"	165 x 8"
PSI	1,500	22 x 8"	22 x 8"	22 x 8"	22 x 8"
		Snow Load		Snow Load	
Soil	3,000	165 x 8"	165 x 8"	165 x 8"	165 x 8"
PSI	1,500	22 x 8"	22 x 8"	22 x 8"	22 x 8"
		Snow Load		Snow Load	
Soil	3,000	165 x 8"	165 x 8"	165 x 8"	165 x 8"
PSI	1,500	22 x 8"	22 x 8"	22 x 8"	22 x 8"

If you have any concerns or questions, please feel free to contact us. We are happy to clarify matters that fall within scope, as listed on the first page. We can also often provide affordable support for issues that are your responsibility, such as energy diagnostics, or additional detailing.

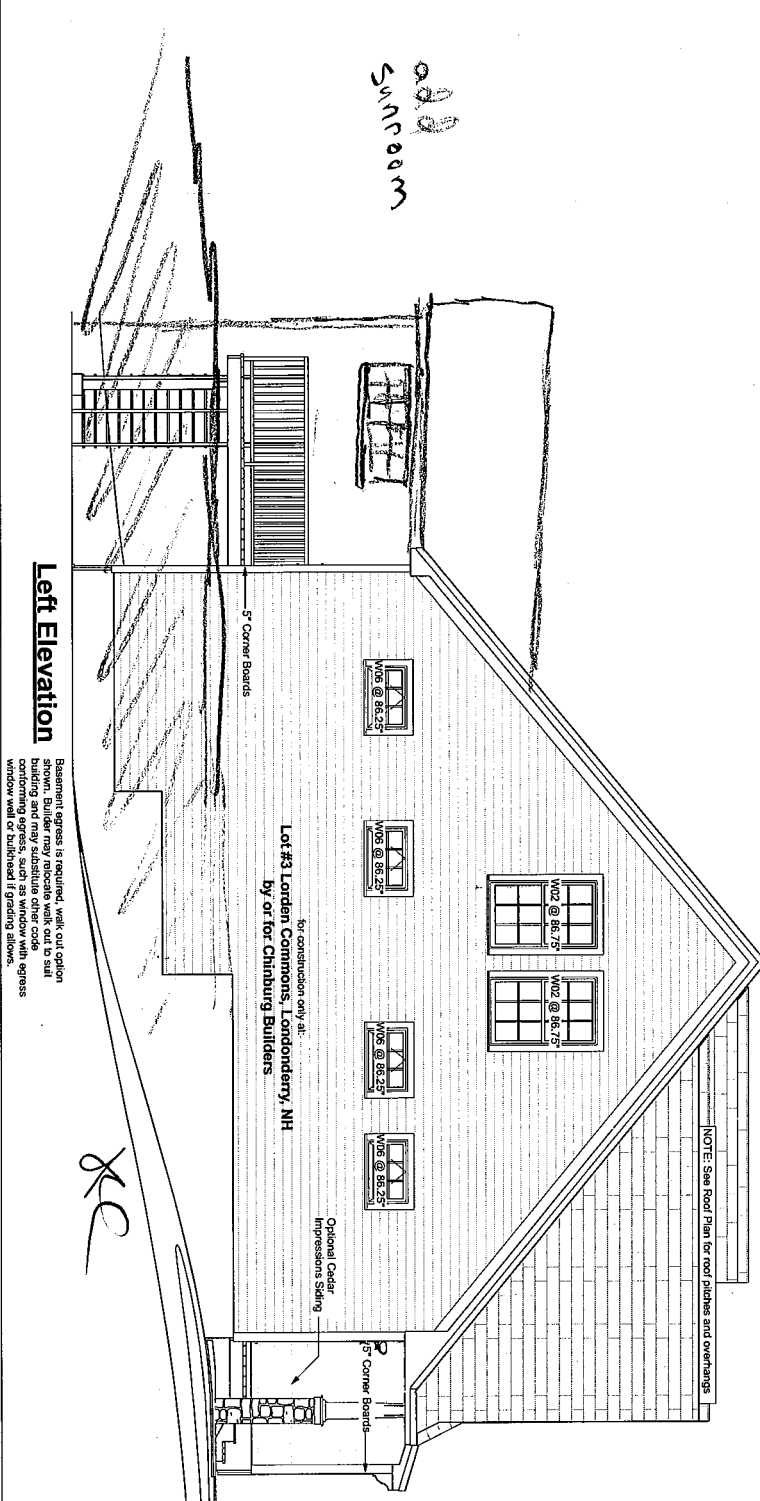
<p><b>AR</b> Artform Home Plans</p> <p>ARPH Design 537, 156 EL. © 2015 Wendy Whelan 800.431.5659</p> <p>Lot #3 Loxton Commons Londonbury, NH</p> <p>144'-1"-0" outside corner (reference) Plan # 111 TAP created on 01/19/2015, drawn by AJG</p> <p>RT: 6.11.2014 - Ceiling Height &amp; Minor Interior Changes</p>	<p>3</p> <p>Construction</p> <p>Issued For</p>
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# Front Elevation



Not shown - number of steps may vary -  
handrail may be required in jurisdictions  
that have not adopted IRC 2009

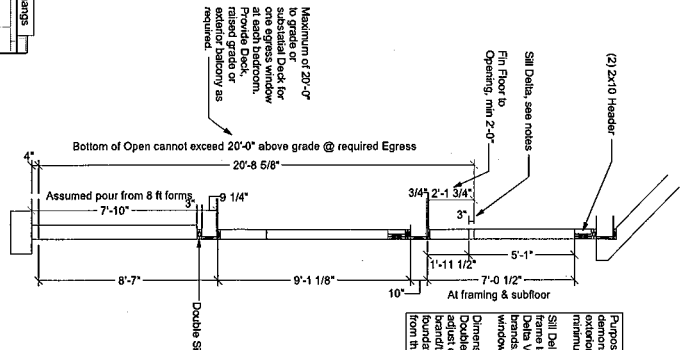
# Left Elevation



Basement egress is required, walk out option  
building and may substitute other code  
window well or bulkhead if grading allows.

# Window Story Pole

Scale 1/2"=1'-0"



Purpose of story pole is to  
demonstrate compliance with 20 ft  
maximum and 24\"/>

Your use of these drawings constitutes an acceptance of  
the terms and conditions of the license agreement on the  
page of these drawings, and on our web site:  
<http://www.artformhomeplans.com/termsconditions.aspx>

If you have any comments or questions, please feel free to  
contact us at 800-451-9689 or email us at [info@artformhomeplans.com](mailto:info@artformhomeplans.com). We can also often provide  
affordable support for issues that are your responsibility, such  
as energy design, or additional detailing.

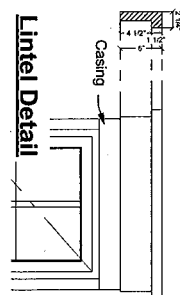
**Artform Home Plans**  
APR Design # 537.126 EL  
600-451-9689  
Shetland  
Londonderry, NH

**CHIMBURG BUILDERS INC.**

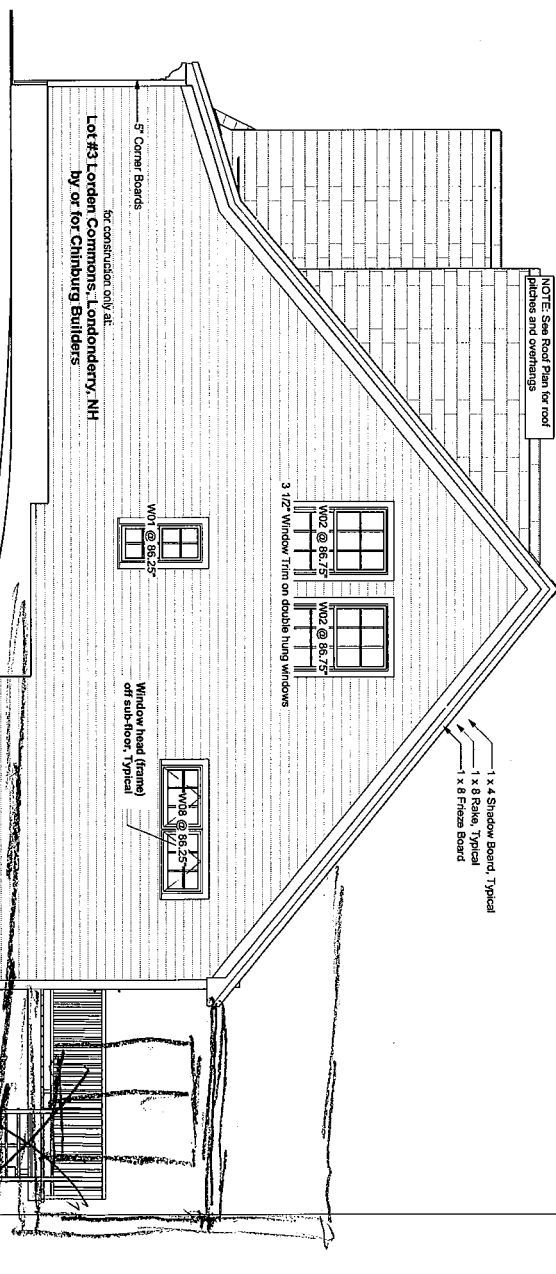
Lot #3 Lorden Commons  
Londonderry, NH

4

10'-0" window head clearance / 10'-0" x 11'-0"  
10'-0" window head clearance / 10'-0" x 11'-0"  
Ft: 6.11 2014 - Ceiling Heights & Minor Interior Changes



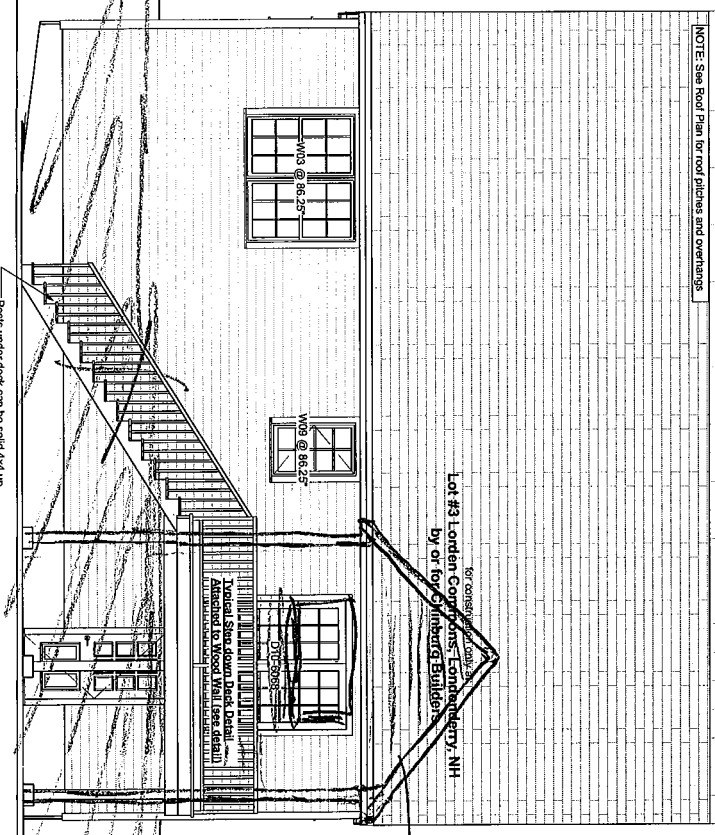
### Lintel Detail



**Note** - Actual grade level may vary. Where zoning height restrictions apply, builder shall verify conformance. Manual markup of drawings to demonstrate compliance is recommended.

Foundation steps and/or use of cripple walls may vary to suit grade.

### Right Elevation



add  
sunroom



TBA  
6009

### Rear Elevation

— Posts under deck can be solid 4x4 up to 48" in height, solid 6x6 PT for higher decks. Consult Aftform for decks higher than 8 ft off grade.

Your use of these drawings constitutes an acceptance of responsibility as outlined in "Dear Code Officer" on the first page of these drawings, and on our web site: <http://www.aediamondmodels.com/TermsConditions.aspx>.

If you have any concerns or questions, please feel free to contact us. We are happy to clarify matters that fall within our scope, as listed on the first page. We can also often provide affordable support for issues that are your responsibility, such as energy designations, or additional detailing.

## Artform Home Plans

ARTH Design + Son, LLC  
© 2013 Wendy Walton 603.431.9555

Lot #3 Lorden Commons  
Lordsburg, NM

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<p>174"=1'-0" unless noted otherwise / Print # : 1</p> <p>PDF created on: 6/11/2014, drawn by ACJ</p>	<p>Issued for: Construction</p>
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