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Checked: BWG	Scale: AS SHOWN	Project No.: 20631
Drawing Name: 20631-PLAN.dwg		
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0	04/27/21	ISSUED FOR REVIEW
REV.	DATE	REVISION
		BY

J/B Jones & Beach Engineers, Inc.

Designed and Produced in NH

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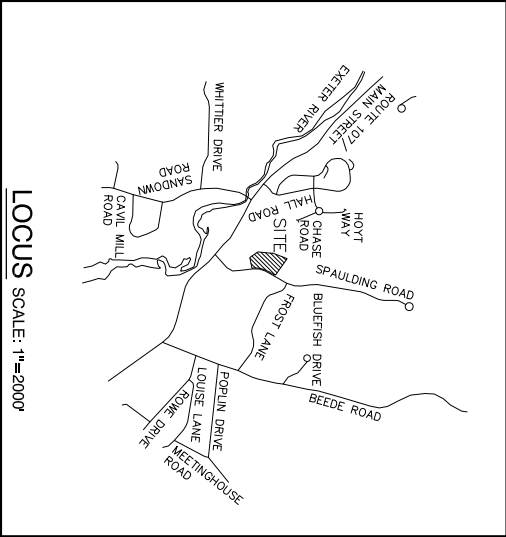
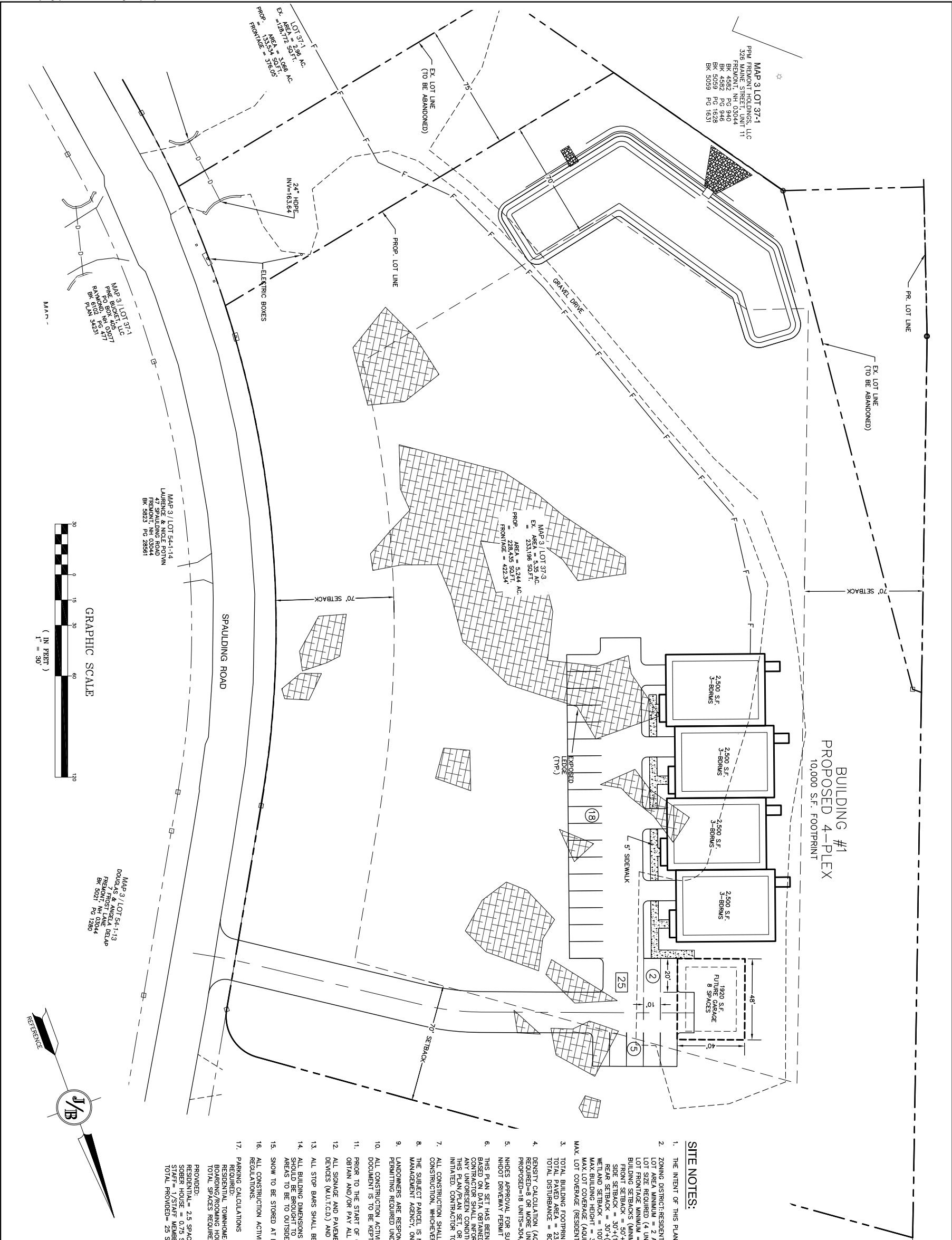
Plan Name:	PPM TOWNHOMES SPAULDING ROAD, FREMONT, NH
Project:	PPM FREMONT HOLDING, LLC
Owner of Record:	326 MAIN STREET FREMONT, NH 03044

DRAWING NO.

C2

SHEET 6 OF

JBE PROJECT NO. 20631



SITE NOTES:

- THE INTENT OF THIS PLAN IS TO SHOW FOUR PROPOSED 3-BEDROOM RESIDENTIAL UNITS ON TOWN OF FREMONT TAX MAP 3, LOT 37-3.
- ZONING DISTRICT-RESIDENTIAL (AQUIFER PROTECTION OVERLAY)
LOT AREA MINIMUM = 2 ACRE (3 ACRE AQUIFER)
LOT SIZE REQUIRED (4 UNITS IN AP2) = 4.93 AC.
LOT FRONTAGE MINIMUM = 200'+(20'/UNIT)*(4 UNITS)=280'
BUILDING SETBACKS (MINIMUM):
FRONT SETBACK = 30'+(6'/UNIT)*(4 UNITS)=70'
REAR SETBACK = 30'+(10'/UNIT)*(4 UNITS)=70'
WETLAND SETBACK = 100'
MAX. BUILDING HEIGHT = 35'
MAX. LOT COVERAGE (AQUIFER) = 15% OR ≤ 2,500 S.F. OF IMPERVIOUS
MAX. LOT COVERAGE (RESIDENTIAL) = 30%
- TOTAL BUILDING FOOTPRINT = 9,998 SF
TOTAL PAVED AREA = 23,314 SF
TOTAL DISTURBANCE = 80,882 SF
- DENSITY CALCULATION (AQUIFER PROTECTION DISTRICT)
REQUIRED=8 OR MORE UNITS=304,680 SF
PROPOSED=18 UNITS=304,680 SF + 30,000 SF X 10 UNITS=604,680 SF
- INDICES APPROVAL FOR SUBDIVISION PERMIT NO. , DATED .
INDOT DRIVEWAY PERMIT NO. , DATED .
- THIS PLAN SET HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC., FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND SHALL BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS. ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS, ANY CONTRADICTION BETWEEN ITEMS ON THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS, MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED. CONTRACTOR TO ALWAYS CONTACT DIG SAFE PRIOR TO DIGGING ON-SITE OR OFF-SITE TO ENSURE SAFETY AND OBEY THE LAW.
- ALL CONSTRUCTION SHALL CONFORM TO TOWN STANDARDS AND REGULATIONS, AND INDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
- THE SUBJECT PARCEL IS NOT LOCATED WITHIN AN AREA HAVING A SPECIAL FLOOD HAZARD ZONE DESIGNATION BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, ON FLOOD INSURANCE RATE MAP NOS. 33015C0307E AND 33015C0308E, BOTH WITH EFFECTIVE DATE OF MAY 17, 2005.
- LANDOWNERS ARE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING PERMITTING REQUIRED UNDER THESE REGULATIONS.
- ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (S.M.P.P.), THIS DOCUMENT IS TO BE KEPT ON-SITE AT ALL TIMES AND UPDATED AS REQUIRED.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, FEES AND BONDS.
- ALL SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND INDOT STANDARDS AND SPECIFICATIONS (NON-REFLECTORIZED PAVEMENT MARKINGS) UNLESS OTHERWISE NOTED.
- ALL STOP BARS SHALL BE 18" IN WIDTH IN A COLOR OF WHITE. ALL TRAFFIC ARROWS SHALL BE PAINTED IN A COLOR OF WHITE.
- ALL BUILDING DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PROVIDED BY THE OWNER. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER PRIOR TO THE START OF CONSTRUCTION. BUILDING DIMENSIONS AND AREAS TO BE TO OUTSIDE OF MASONRY, UNLESS OTHERWISE NOTED.
- SNOW TO BE STORED AT EDGE OF PAVEMENT AND IN AREAS SHOWN ON THE PLANS.
- ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
- PARKING CALCULATIONS
REQUIRED: RESIDENTIAL TOWNHOME=2.5 SPACES/UNIT = 2 UNITS X 2.5 SPACES/UNIT = 5 SPACES
BOARDING ROOM=2 SPACES
TOTAL SPACES REQUIRED = 11 SPACES
PROVIDED: RESIDENTIAL = 2.5 SPACE/UNIT X 2 UNITS = 5 SPACES
BOARDING ROOMS=2 SPACES
TOTAL SPACES PROVIDED= 25 SPACES

APPROVED – FREMONT, NH PLANNING BOARD		PROJECT PARCEL TOWN OF FREMONT TAX MAP 3, BLOCK 37, LOT 3
APPLICANT/OWNER PPM FREMONT HOLDINGS, LLC 326 MAIN STREET, UNIT 11 FREMONT, NH 03044 BK 5059, PG 1628		TOTAL LOT AREA 233,197 SQ. FT. 5.35 ACRES
DATE:		